



City of Waupun

201 E. Main Street
Phone: 920-324-7917
Fax: 920-324-7939

"Wild Goose Center of Wisconsin"

July 13, 2017

TO: Plan Commission Members
FROM: Mayor, Julie Nickel
SUBJECT: Plan Commission meeting scheduled for **Wednesday, July 19, 2017, at 4:45 p.m.** in the Council Chambers, City Hall, Waupun.

AGENDA

1. Call to Order
2. Roll Call
3. Approve minutes of the June 21, 2017 meeting.
4. Discuss / Approve Annexation request of the Christian Home.
5. Discuss / Approve Site Plan for Christian Home
6. Comprehensive Plan Inventory / Analysis & Issue Identification/Vision/Goal/Strategies & Recommendations Development.
 - a. Revised Housing Chapter 2
 - b. Discussion of Transportation Chapter
 - c. Discussion of Preliminary Issues for Utilities and Community Facilities
 - d. Distribution of Agricultural, Natural and Cultural Resources
 - e. Next Steps
7. Adjournment

Cc: Mayor & Common Council
City Attorney
Department Managers
Media
Edgerton, St. Peter, Petak & Rosenfeldt
J.E. Arthur and Associates Inc
Hoffman Planning Design & Construction Inc.
Agnesian Health Care Inc
Kathleen Thunes
Kyle & Ann Clark
Nate Olson, Dodge County

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact Angie Hull, City Clerk at 920-324-7900.

CITY OF WAUPUN
PLAN COMMISSION
MINUTES OF THE JUNE 21, 2017 MEETING
(*DRAFT*)

1. Call to Order:
The Plan Commission met at 4:45 p.m. in the Council Chambers, City Hall, Waupun.

2. Roll Call:
Members Present: Julie Nickel, Fred Lueck, Nancy Vanderkin, Jeff Daane, Elton TerBeest, and Jerry Medema.
Member Excused: Derek Drews
Staff Present: Susan Leahy and Kathy Schlieve
Other City Officials Present: Fire Chief BJ DeMaa and Angela Hull, City Clerk

3. Chairman Nickel called for the approval of the May 17, 2017 meeting. Motion by Vanderkin, seconded by TerBeest to approve the minutes of the May 17, 2017 meeting as presented. Motion carried, minutes approved, unanimously.

4. Public Hearing – Conditional Use Permit – Waupun Area School District, said school located at 601 Grandview Ave, Waupun. Chairman Nickel read the call of the hearing and its purpose. Lueck questioned whether the City had gotten an opinion from the City Attorney as to the legality of the Public Hearing Notice for this hearing. He said that the notice in the Beaver Dam Daily Citizen included the notice for tonight’s hearing and also included a notice for a Public Hearing held last month for the Athletic Complex at the High School. City Zoning Administrator Leahy said they had contacted the City Attorney and his opinion is that the notice does include the notice for tonight’s hearing and the additional verbiage from last month’s hearing included in the notice can be disregarded as it appears to be a mistake by the newspaper. Lueck feels the City should be reimbursed by the paper for its error.

A representative from Rettler Corporation appeared and submitted plans for the improvements to the Meadowview Elementary School at 601 Grandview Ave. He said the school wishes to make some modifications and additions to their building, which includes relocating an office and creating a secure main entry with an entrance canopy. Also included is an update to the art and music classrooms as well as the library and media center. They also wish to repurpose a former office for classroom space and renovate the gymnasium to create a multipurpose cafeteria space. Also proposed is to convert the former locker rooms to appropriate storage, and construct a full court gym. The Plan Commission did not have any questions pertaining to the new construction or remodeling and no one else from the audience had any questions, so Chairman Nickel closed the hearing and called for motion to grant the Conditional Use Permit.

Motion by Medema, seconded by TerBeest to approve the issuance of a Conditional Use Permit for the Waupun Area School District at 601 Grandview Ave. for modifications and additions to said school building as presented.

Vote: Medema, TerBeest, Daane, Vanderkin, Lueck, and Nickel – “AYE”
Motion carried, unanimously.

5. Discuss / Approve Site Plan for the Waupun Area School District at 601 Grandview Ave. A representative from the Rettler Corporation appeared and addressed the site plan for the school property. The site plan shows a new bus drop off / pickup loop to accommodate 6 busses on the north side of the building. A new parent drop off loop and 37 parking stalls including two (2) ADA accessible stalls on the east side of the building with access in from Beaver Dam St. and access out onto Lincoln St. The driveway providing access into the site will be located on Beaver Dam St., approximately 300' north of Lincoln St. Vehicles will exit the site onto Lincoln St. approximately 180' west of Beaver Dam St. He also discussed drainage on and off the site, landscaping and lighting. He also noted the new gym will be approximately 6,365 sq. ft. and 32' in height and will be located on the northeast corner for the existing building. No further information was presented and Plan Commission did not have any questions on the site plan so Chairman Nickel called for a motion.

Motion by Daane, seconded by Vanderkin to approve the site plan for the Waupun Area School District property at 601 Grandview Ave. as presented.

Vote: Medema, TerBeest, Daane, Vanderkin, Lueck, and Nickel – "AYE"
Motion carried, unanimously.

6. Discuss / Approve Site Plan for the Waupun Area School District at 801 E. Lincoln St. A representative from the Rettler Corporation appeared to discuss the site plan for a building addition to the high school at 801 E. Lincoln St., Waupun. The District is proposing an addition to the existing fitness center. The fitness center expansion is approximately 2,485 sq. ft., 18' 4" in height and is located on the south side of the existing building. He also discussed City Zoning on the site. Ingress/egress and parking on the site would not change. The project will disturb less than 1 acre of land therefore the improvements will not need to be designed to meet the Cities storm water management ordinance or the Wisconsin Administrative Code. He also discussed Utility easements, landscaping and lighting. The committee did not have any further questions on the site plan so Chairman Nickel called for a motion to approve the site plan.

Motion by TerBeest, seconded by Vanderkin to approve the site plan for the Waupun Area School District at 801 E. Lincoln St. as presented.

Vote: TerBeest, Medema, Daane, Vanderkin, Lueck, and Nickel – "AYE"
Motion carried, unanimously.

7. Discuss / Approve site plan for the Union Youth Center at 421 Jackson St. Steve DeYoung with WDS Construction appeared and presented plans and photos of work proposed on the Union Youth Center. He explained that they intend to remodel the main entry, including new doors, windows & siding, remove and replace the existing exterior concrete in front of the main entry and remove the concrete retaining wall to the east of the main entry. They also want to create a new parking area to the west of the main entry. A privacy fence is also proposed between the new parking area and the adjoining home. City Zoning Administrator Leahy noted that the proposed parking stalls and other construction complies with the City's zoning ordinance.

Motion by TerBeest, seconded by Vanderkin to approve the site plan for the Union Youth Center at 421 Jackson St. as presented.

Vote: Medema, TerBeest, Daane, Vanderkin, Lueck, and Nickel – “AYE”
Motion carried, unanimously.

8. Discuss / Approve Site Plan for the Waupun Christian Home. Chairman Nickel indicated that the representatives of the Christian Home have asked that action on their site plan be withdrawn and placed on next month’s Plan Commission Meeting. No action was taken on the site plan.
9. Comprehensive Plan Inventory / Analysis and Issues Identification / Vision / Goal / Strategies and Recommendations Development. Kathy Thurnes, ECWRPC chaired this portion of the Plan Commission meeting. She asked for questions on Chapter 1 and there were none. She passed out a definition of a “Visions & Goals” for such a plan. She discussed issues and opportunities in the Plan such as population, household structures, education and income. Housing was also discussed, such as age, structural value and occupancy characteristics of existing housing stock. We discussed the housing vision, housing goals and objectives. One goal is to provide housing choices, which reflect the needs of the individual households. Kathy indicated that 30% of a person’s income goes toward housing. Kathy Schlieve suggested smaller lots within the City. Lueck indicated he was opposed to smaller lots for several reasons. Small lots result in areas that cater to the new tiny houses, mobile homes, manufactured homes, zero lot line houses, which result in parking and storage issues. They also tend to attract lower income people which means more work for police and fire departments and these are just a few issues with small lots and small structures. BJ DeMaa, City Fire Chief, pointed out the small lots and older homes along Fond du Lac St. as a potential fire hazard area. Affordability and choices of new housing was discussed. It was suggested there be a definition of Senior Housing. Rental property issues and a rental ordinance were also discussed as well as a municipal rental – property registration with yearly inspections and a license. Condominium housing design, amenities, and appearances was also discussed. Support for the surrounding farmers as well as urban agriculture was noted such as community gardens, etc. Natural Resources issues were also discussed. A possible setback from wetlands and preserving the Rock River corridor as well as surface water and runoff, a tree plan for the City and a Park & Rec plan were discussed. Kathy passed out Element “3” which is the transportation plan to be discussed at next month’s meeting.
10. Motion by Lueck, seconded by Medema to adjourn the meeting. Motion carried, meeting adjourned at 6:35 pm.

Fred Lueck
Secretary

LAW OFFICES
EDGARTON, ST. PETER, PETAK & ROSENFELDT

10 FOREST AVENUE, SUITE 200
P. O. BOX 1276

FOND DU LAC, WISCONSIN 54936-1276
FAX NUMBER: (920) 922-9091
920-922-0470

A.D. (DAN) EDGARTON
ROBERT V. EDGARTON
RONALD L. PETAK
JOHN A. ST. PETER
PAUL W. ROSENFELDT
MATTHEW PARMENTIER

ALLAN L. EDGARTON (1908-1994)
GEORGE M. ST. PETER (1910-2003)
NEIL HOBBS (1922-2001)
THOMAS L. MASSEY (1935-1995)

June 26, 2017

Ms. Angela Hull, City Clerk
City of Waupun
201 E. Main Street
Waupun, WI 53963

Re: The Christian Home and Rehabilitation Center Annexation Petition

Dear Ms. Hull:

Enclosed for filing with the City is a Petition for Direct Annexation pursuant to Wis. Stat. § 66.0217(2). The Petition seeks the annexation of the territory described therein, which is currently located in the Town of Chester. If you have any questions about the Petition, please feel free to contact me. Thank you.

Respectfully,

EDGARTON, ST. PETER, PETAK
& ROSENFELDT



Matthew Parmentier

MP/jap

Enclosure

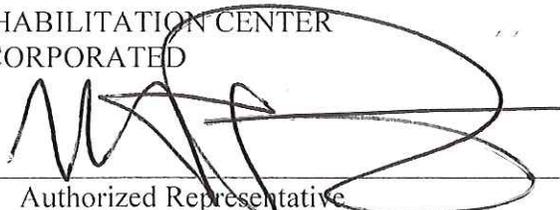
cc: Agnesian HealthCare, Inc. w/enc.
J.E. Arthur and Associates, Inc., w/enc.
Hoffman Planning, Design & Construction, Inc., w/enc.
Attorney Daniel L. Vande Zande w/enc.
Ms. Sue Leahy, w/enc.
Ms. Kathy Schlieve, w/enc.

**PETITION FOR DIRECT ANNEXATION
PURSUANT TO WIS. STAT., § 66.0217(2)**

The undersigned, constituting the sole owner of the real property, in which no electors reside, respectfully petitions the City of Waupun for the direct annexation to the City of the following described territory currently located in the Town of Chester, Dodge County, Wisconsin. In support of this Petition for Direct Annexation the undersigned states, as follows:

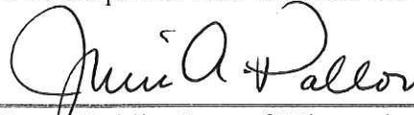
1. The legal description of the territory to be annexed is described in Exhibit A, which is attached and incorporated by reference. The territory proposed to be annexed consists of 457,280 sq. ft. or 10.50 acres.
2. A scale map of the territory to be annexed is shown on Exhibit B, which is attached and incorporated by reference.
3. There are no residents in the territory proposed to be annexed.
4. Your petitioner constitutes the owner of all of the land proposed to be annexed.
5. There are no dwelling units on the territory proposed to be annexed.
6. The territory proposed to be annexed will be located in the 13th Ward of the City of Waupun.
7. The undersigned respectfully requests that the territory proposed to be annexed be zoned R-3, or such other zoning district that would allow the development of the territory proposed to be annexed for use as a skilled nursing facility, including a rehabilitation unit and a non-denominational chapel.
8. The undersigned does hereby elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexation, incorporation, or consolidation proceedings, if any.

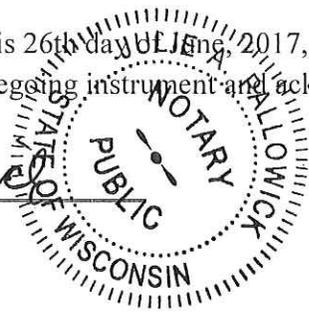
SIGNATURE	DATE	OWNER	ELECTOR
THE CHRISTIAN HOME AND REHABILITATION CENTER INCORPORATED	6/26/17	The Christian Home and Rehabilitation Center Incorporated	N/A

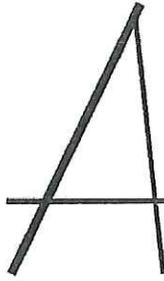
By: 
 Authorized Representative
 Print Name: Matthew Parmentier

STATE OF WISCONSIN)
) ss.
 COUNTY OF FOND DU LAC)

Personally came before me this 26th day of June, 2017, the above-named Matthew Parmentier to me known to be the person who executed the foregoing instrument and acknowledges the same.


 Notary Public, State of Wisconsin
 My commission expires 1/15/21





J. E. ARTHUR AND ASSOCIATES, INC.

ENGINEERS • SURVEYORS

548 Prairie Road
Fond du Lac WI 54935

Phone: 920/922-5703
FAX No: 920/922-5731

Project No. 779.4844

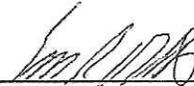
June 6, 2017

PARCEL TO BE ANNEXED TO THE CITY OF WAUPUN
PART OF THE SE 1/4 OF THE NW 1/4, SECTION 6, T. 13 N.-R. 15 E.,
TOWN OF CHESTER, DODGE COUNTY, WISCONSIN

Part of the Southeast 1/4 of the Northwest 1/4 of Section 6, T. 13 N. – R. 15 E., Town of Chester, Dodge County, Wisconsin and more particularly described as follows:

Commencing at the Northeast corner of the Northwest 1/4 of said Section 6; thence South 01°-31'-36" West along the East line of the Northwest 1/4 of said Section 6, 1207.57 feet to the point of beginning; thence continuing South 01°-31'-36" West along said East line, 286.01 feet; thence South 71°-44'-28" West, 106.49 feet; thence South 18°-15'-32" East, 155.25 feet to a point on the centerline of State Trunk Highway "68"; thence South 71°-44'-28" West along said centerline, 772.43 feet; thence North 07°-28'-28" West, 670.75 feet; thence North 87°-09'-43" East, 881.99 feet to the point of beginning and containing 10.50 acres (457,280 sq. ft.) of land, more or less.




Eric R. Otte, P.L.S. No. S-2440
J.E. Arthur and Associates, Inc.



PROJECT NUMBER: 779.4844

ANNEXATION MAP FOR

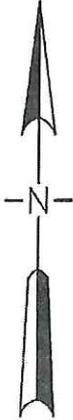
APRIL 26, 2017
REV: JUNE 6, 2017

CHRISTIAN HOME AND REHABILITATION CENTER, INC.

PART OF THE SE 1/4 OF THE NW 1/4, SECTION 6, T. 13 N.-R. 15 E.,
TOWN OF CHESTER, DODGE COUNTY, WISCONSIN



NORTH POINT REFERENCED TO THE NORTH LINE OF
THE NW 1/4, SECTION 6-13-15 RECORDED AS
N89°47'40"E PER DODGE COUNTY COORDINATE SYSTEM



J.E. ARTHUR AND ASSOCIATES, INC.

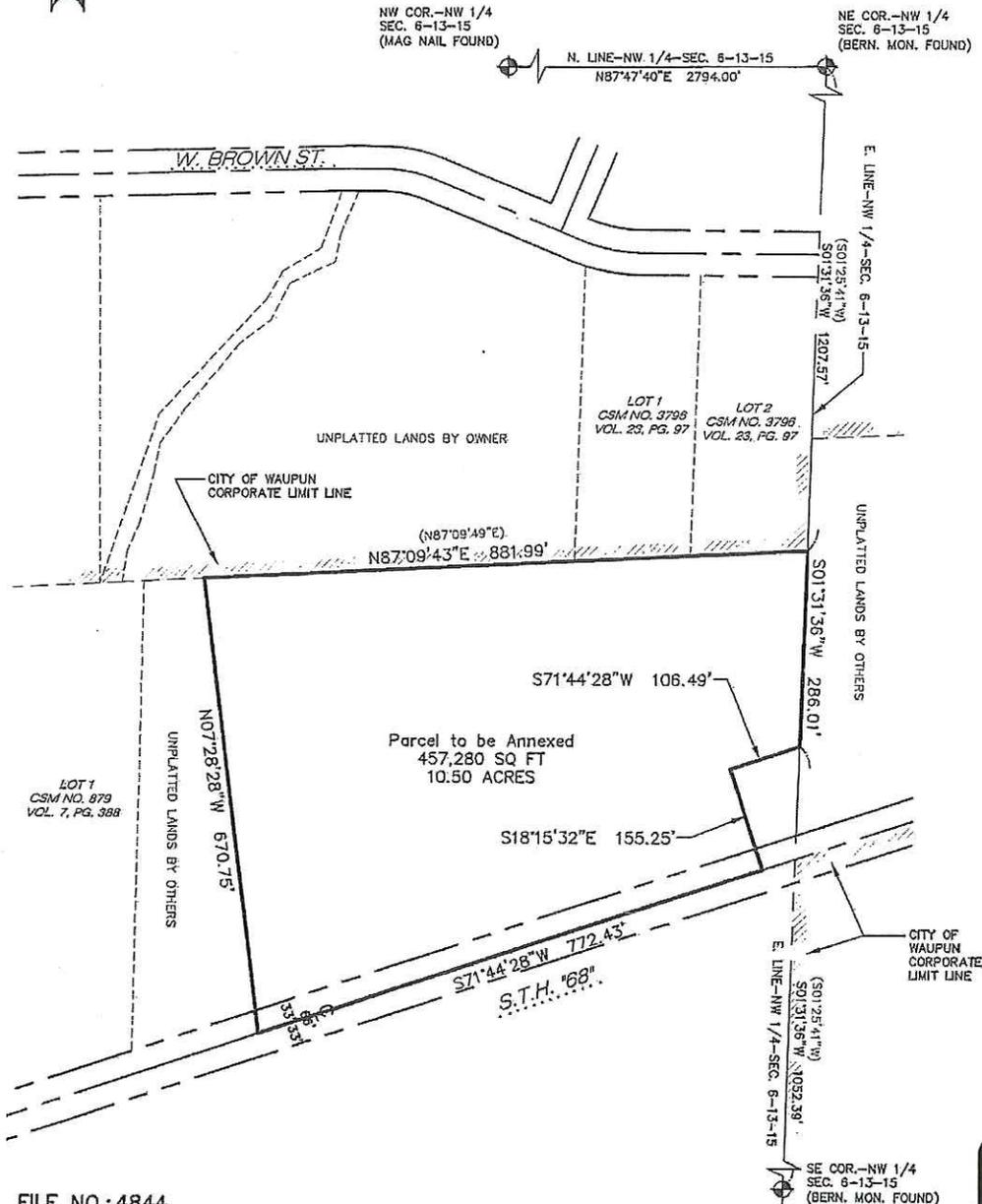
548 PRAIRIE ROAD
FOND DU LAC, WI 54925
PHONE: (920) 922-5703



NW COR.-NW 1/4
SEC. 6-13-15
(MAG NAIL FOUND)

NE COR.-NW 1/4
SEC. 6-13-15
(BERN. MON. FOUND)

N. LINE-NW 1/4-SEC. 6-13-15
N87°47'40"E 2794.00'

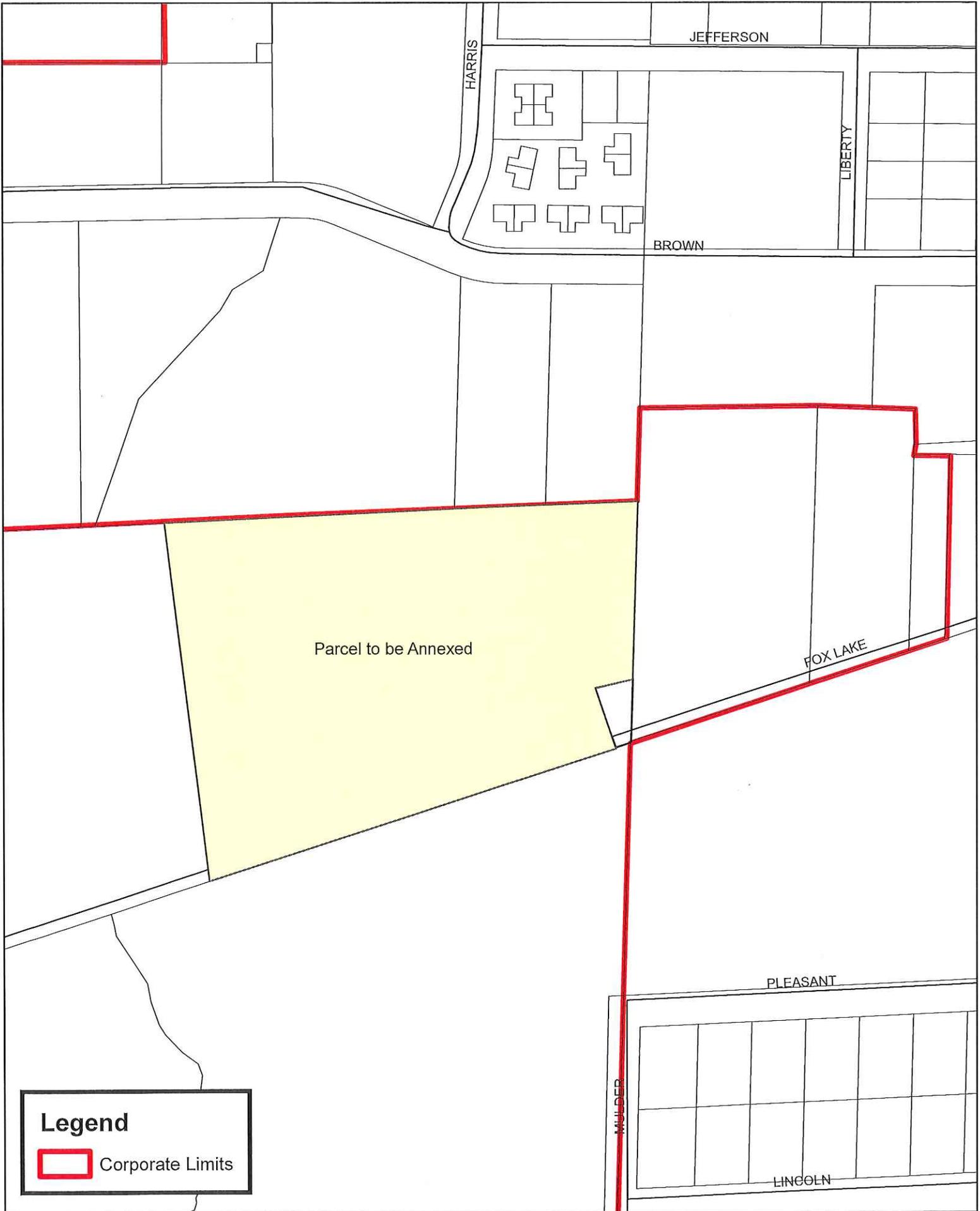


FILE NO.: 4844

SHEET 1 OF 1

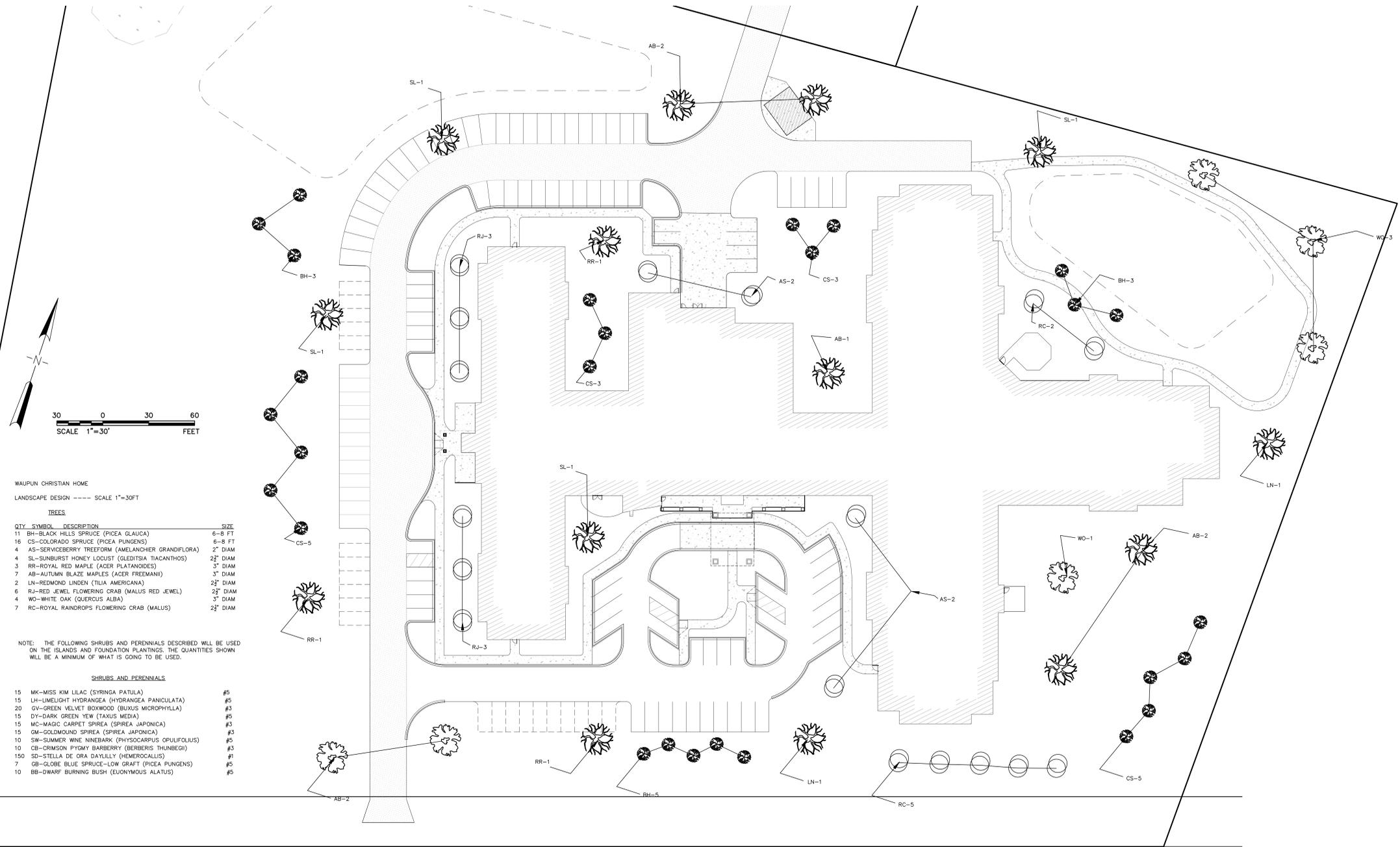


Christian Home Annexation



Legend

 Corporate Limits



WAUPUN CHRISTIAN HOME
LANDSCAPE DESIGN - SCALE 1"=30FT

TREES

QTY	SYMBOL	DESCRIPTION	SIZE
11	BH	BLACK HILLS SPRUCE (PICEA GLAUCA)	6-8 FT
16	CS	GOLORADO SPRUCE (PICEA PUNGENS)	6-8 FT
4	AS	SERVICEBERRY TREEFORM (AMELANCHER GRANDIFLORA)	2" DIAM
4	SL	SUNBURST HONEY LOCUST (GLEDITSIA TIACANTHOS)	2 1/2" DIAM
3	RR	ROYAL RED MAPLE (ACER PLATANOIDES)	3" DIAM
7	AB	AUTUMN BLAZE MAPLES (ACER FREEMANII)	3" DIAM
2	LN	REDMOND LINDEN (TILIA AMERICANA)	2 1/2" DIAM
6	RJ	RED JEWEL FLOWERING CRAB (MALUS RED JEWEL)	2 1/2" DIAM
4	WO	WHITE OAK (QUERCUS ALBA)	3" DIAM
7	RC	ROYAL RAINDROPS FLOWERING CRAB (MALUS)	2 1/2" DIAM

NOTE: THE FOLLOWING SHRUBS AND PERENNIALS DESCRIBED WILL BE USED ON THE ISLANDS AND FOUNDATION PLANTINGS. THE QUANTITIES SHOWN WILL BE A MINIMUM OF WHAT IS GOING TO BE USED.

SHRUBS AND PERENNIALS

15	MK	MISS KIM LILAC (SYRINGA PATULA)	#5
15	LH	LIMELIGHT HYDRANGEA (HYDRANGEA PANICULATA)	#5
20	GV	GREEN VELVET BOWWOOD (BUXUS MICROPHYLLA)	#3
15	DY	DARK GREEN YEW (TAXUS MEDIA)	#5
15	MC	MAGIC CARPET SPIREA (SPIREA JAPONICA)	#3
15	GM	GOLDMOUND SPIREA (SPIREA JAPONICA)	#3
10	SW	SUMMER WINE NINEBARK (PHYSOCARPUS OPULIFOLIUS)	#5
10	CB	CRIMSON PYRAMY BARBERRY (BERBERIS THUNBERGII)	#3
150	SD	STELLA DE ORA DAYLILLY (HEMEROCALLIS)	#1
7	GB	GLOBE BLUE SPRUCE-LOW GRAFT (PICEA PUNGENS)	#5
10	BB	DWARF BURNING BUSH (EUONYMUS ALATUS)	#5

S.T.H. "68"

LANDSCAPE PLAN
DESIGNED BY:



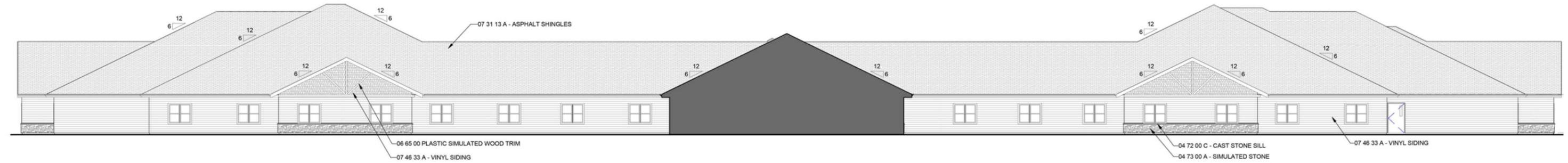
MARK	DATE
ISSUED:	0-0-0
PROJECT:	16171
NO:	
CAD DWG:	
FILE:	
DRAWN BY:	STUARTS
CHECKED BY:	STUARTS
COPYRIGHT © 2017: HOFFMAN PLANNING, DESIGN & CONSTRUCTION, INC.	
SHEET TITLE:	

LANDSCAPE PLAN
SHEET NUMBER:
LS

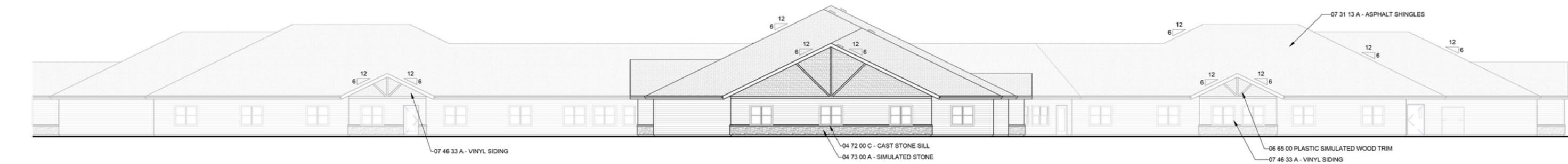
PRELIMINARY
NOT FOR CONSTRUCTION



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - SNF
SCALE: 3/32" = 1'-0"



1 EAST ELEVATION
SCALE: 3/32" = 1'-0"

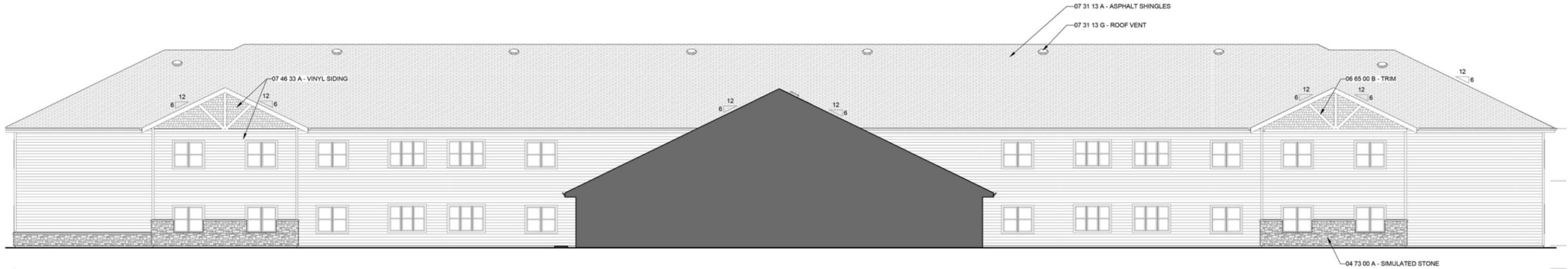
6/13/2017

CHRISTIAN HOME AND REHABILITATION CENTER



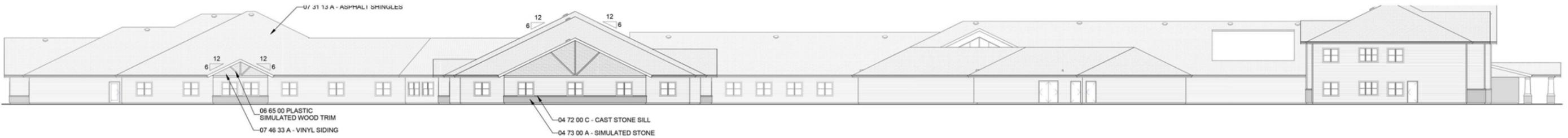
4 PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"
AS REFERENCED BY 1 / AE-201



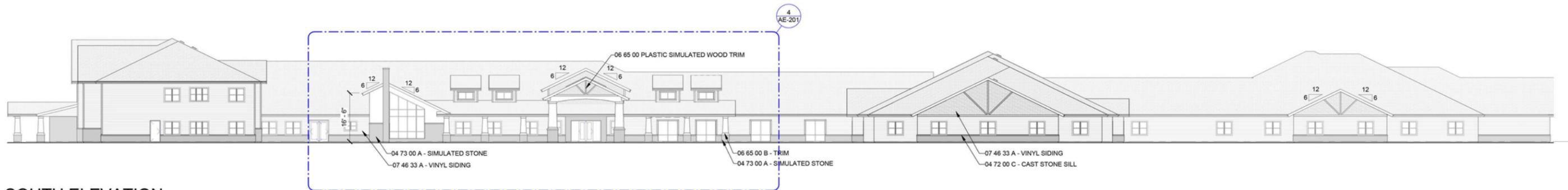
3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION

SCALE: 1/16" = 1'-0"



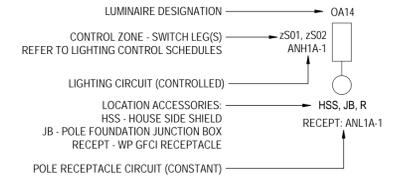
1 SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

6/13/2017

CHRISTIAN HOME AND REHABILITATION CENTER

SITE LUMINAIRE LEGEND

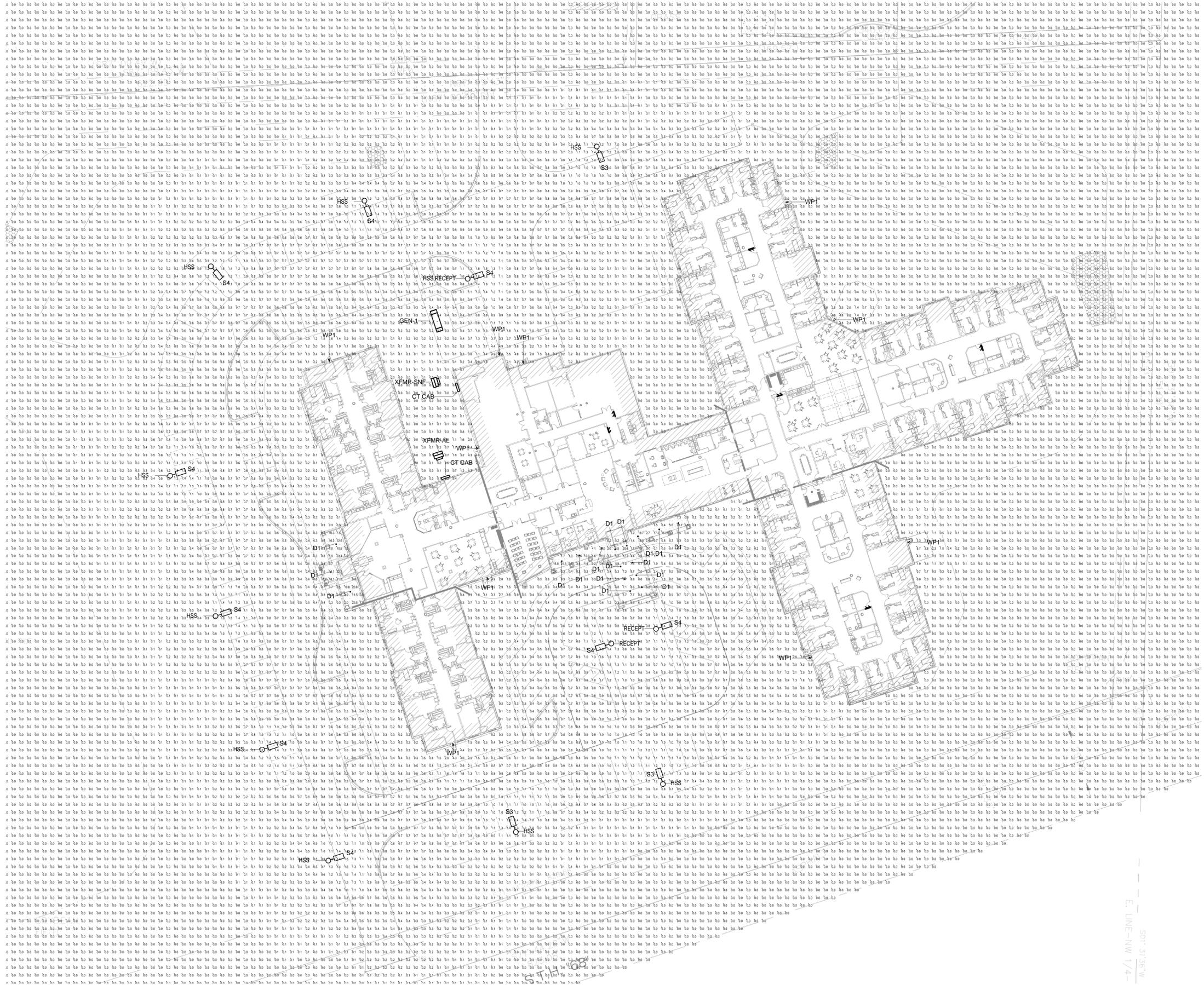


FIXTURE TYPE S3: 6,136 LUMEN, IES TYPE 3 DISTRIBUTION, FULL CUTOFF, B1-U0-G2. MOUNTED ON 25 FOOT ROUND ALUMINUM POLE WITH 24" ABOVE GRADE CONCRETE BASE.

FIXTURE TYPE S4: 7,829 LUMEN, IES TYPE 4 DISTRIBUTION, FULL CUTOFF, B1-U0-G2. MOUNTED ON 25 FOOT ROUND ALUMINUM POLE WITH 24" ABOVE GRADE CONCRETE BASE.

FIXTURE TYPE WP1: 1,900 LUMEN, FORWARD THROW, FULL CUTOFF, B1-U0-G0. WALL MOUNTED ON BUILDING AT EGRESS DOORS.

FIXTURE TYPE D1: 1,500 LUMEN RECESSED DOWNLIGHT, MOUNTED IN BUILDING CANOPIES.



SITE LIGHTING PHOTOMETRIC PLAN
1
1" = 30'-0"

D-Series Size 0 LED Area Luminaire

Specifications

EMC: Class B
Length: 20" (508 mm)
Width: 13" (330 mm)
Height: 7" (178 mm)
Weight: 15.5 lbs (7.0 kg)

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL/DLL controls marked by a shaded background. DTL/DLL equipped luminaires meet the A+ specification for luminaires to photometric interoperability.
- This luminaire is part of an A+ Certified solution for ROAMP2 or XPort™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+ visit www.acuitybrands.com/a+

1. See ordering tree for details.
2. A+ Certified solutions for ROAMP require the order of one ROAMP node per luminaire. Sold Separately. Link to Roamp Link to DTL/DLL.

Ordering Information

EXAMPLE: DSX0 LED 40C 100K 40K T3M MVFLT SFA DBXDB

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Capable Luminaire

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Ordering Information

One Lithonia Way • Corcoran, Georgia 30012 • Phone: 800.279.8641 • www.lithonia.com
© 2011-2017 Acuity Brands Lighting, Inc. All rights reserved.

Performance Data

Lumen Output

Lumen output per foot for luminaires tested in accordance with IESNA LM-79-07. Data is provided for representative configurations shown, within the tolerance of ±5%.

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Ordering Information

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Ordering Information

EXAMPLE: DSX0 LED 40C 100K 40K T3M MVFLT SFA DBXDB

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Capable Luminaire

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Ordering Information

One Lithonia Way • Corcoran, Georgia 30012 • Phone: 800.279.8641 • www.lithonia.com
© 2011-2017 Acuity Brands Lighting, Inc. All rights reserved.

Performance Data

Lumen Output

Lumen output per foot for luminaires tested in accordance with IESNA LM-79-07. Data is provided for representative configurations shown, within the tolerance of ±5%.

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Ordering Information

One Lithonia Way • Corcoran, Georgia 30012 • Phone: 800.279.8641 • www.lithonia.com
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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

See IESNA LM-79-07 for details.

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Electrical Load

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background

Projected LED Lumen Maintenance

See IESNA LM-79-07 for details.

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
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Electrical Load

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DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
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Projected LED Lumen Maintenance

See IESNA LM-79-07 for details.

Code	Part	Description	Options	Quantity	Notes
DSX0	LED 40C	40W LED Driver	100K 40K	1	Shaded background
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Projected LED Lumen Maintenance

See IESNA LM-79-07 for details.

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FEATURES & SPECIFICATIONS

INSTALLATION

See IESNA LM-79-07 for details.

CONSTRUCTION

See IESNA LM-79-07 for details.

FINISH

See IESNA LM-79-07 for details.

OPTICS

See IESNA LM-79-07 for details.

REMARKS

See IESNA LM-79-07 for details.

ORDERING INFORMATION

See IESNA LM-79-07 for details.

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LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		CLEANOUT
		TELEPHONE MANHOLE
		VALVE MANHOLE
		ROUND TYPE CATCH BASIN
		CURB TYPE CATCH BASIN
		WATER SERVICE VALVE
		WATER MAIN VALVE
		GAS SERVICE VALVE
		GAS MAIN VALVE
		HYDRANT
		TELEPHONE POLE & GUY WIRE
		TELEPHONE POLE & STREET LIGHT
		POWER POLE & GUY WIRE
		POWER POLE & STREET LIGHT
		STREET LIGHT
		RAILROAD ELECTRIC W/G-WAG SIGNAL
		STOP, STREET, HIGHWAY, & OTHER SMALL SIGNS
		PARKING METER
		RURAL MAILBOX - URBAN MAIL DEPOSIT BOX
		TREE - TO BE CLEARED & GRUBBED
		EVERGREEN TREE - TO BE CLEARED & GRUBBED
		STUMP - TO BE GRUBBED
		BUSH
		HEDGE
		WOODED AREA (EDGE OF)
		WOOD FENCE
		WOVEN OR BARBED WIRE FENCE
		CHAIN LINK FENCE
		CENTERLINE OF DITCH
		TOP OF BANK
		CENTER LINE
		TRANSIT LINE
		R/W LINE
		LOT LINE
		CURB & GUTTER (CURB SECTION)
		SANITARY SEWER MAIN
		STORM SEWER MAIN
		WATER MAIN
		GAS MAIN
		UNDERGROUND TELEVISION CABLE
		UNDERGROUND TELEPHONE CABLE
		EASEMENT
		SILT FENCE
		CONSTRUCTION LIMIT
		BUILDING
		IRON PIPE FOUND IN PLACE
		REBAR FOUND IN PLACE
		PROPOSED SPOT ELEVATION
		EXISTING SPOT ELEVATION
		INLET PROTECTION
		PROPOSED TOP OF CURB ELEV./PROPOSED GUTTER ELEV.

ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
AH.	AHEAD	L.S.	LIFT STATION
AV.	AVENUE	LOC.	LOCATE
BK.	BACK	M.H.	MANHOLE
B.C.	BACK OF CURB	MAX.	MAXIMUM
B.W.	BACK OF WALK	MIN.	MINIMUM
B.M.	BENCH MARK	MCPL.	MUNICIPAL
BLDG.	BUILDING	N.	NORTH
BLVD.	BOULEVARD	NO.	NUMBER
C.	CONCRETE	PAVT.	PAVEMENT
C.B.	CATCH BASIN	PL.	PLACE
CL.	CENTER LINE	P.T.	POINT OF TANGENCY
C.W.	CONCRETE WALK	P.C.	POINT OF CURVATURE
C.M.P.	CORRUGATED METAL PIPE	P.I.	POINT OF INTERSECTION
C.T.H.	COUNTY TRUNK HIGHWAY	P.V.T.	POINT OF VERTICAL TANGENCY
C.&G.	CURB & GUTTER	P.V.C.	POINT OF VERTICAL CURVATURE
CUL.	CULVERT	P.V.I.	POINT OF VERTICAL INTERSECTION
DIS.	DISCHARGE	P.P.	PROPOSED
DR.	DRIVEWAY	R.	RADIUS
E.	EAST	R.P.	RADIUS POINT
ELEV.	ELEVATION	R.R.	RAILROAD
EX.	EXISTING	R.C.P.	REINFORCED CONCRETE PIPE
F.F.	FACE TO FACE (CURB & GUTTER)	RT.	RIGHT
FL.	FLOWLINE	R/W	RIGHT OF WAY
F.M.	FORCE MAIN	S.	SOUTH
F.W.	FRONT OF WALK	SPK.	SPIKE
GAR.	GARAGE	S.T.H.	STATE TRUNK HIGHWAY
GRV.	GRAVEL	STA.	STATION
G.M.V.	GAS MAIN VALVE	ST.	STREET
G.S.V.	GAS SERVICE VALVE	T.O.P.	TOP OF PIPE
H.E.C.P.	HORIZONTAL ELLIPTICAL CULVERT PIPE	T.P.	TELEPHONE POLE
HDPE.	HIGH DENSITY POLYETHYLENE	T.C.	TOP OF CURB
HS.	HOUSE	T.L.	TRANSIT LINE
HYD.	HYDRANT	V.C.	VERTICAL CURVE
IP.	IRON PIPE	W.	WEST
INL.	INLET	W.M.V.	WATER MAIN VALVE
INV.	INVERT	W.S.V.	WATER SERVICE VALVE
LT.	LEFT		

STAGES OF CONSTRUCTION	DURATION	APPROXIMATE DATES
1. INSTALL SILT FENCE AND TRACKING PAD	1 DAY	9/1/2017
2. STRIP TOPSOIL	1 WEEK	9/1/2017-9/8/2017
3. UTILITY IMPROVEMENTS	1-2 WEEKS	9/8/2017-9/22/2017
4. CONSTRUCT DRY PONDS	1 WEEK	9/22/2017-9/29/2017
5. GRADE SITE	2-3 WEEKS	10/1/2017-10/21/2017
6. INSTALL UNDERGROUND DETENTION SYSTEM	2-3 DAYS	10/21/2017-10/24/2017
7. CONSTRUCT PARKING LOT	1 WEEK	10/24/2017-11/1/2017
8. CONSTRUCT BUILDING	1 YEAR	10/15/2017-10/15/2018
9. PAVE PARKING LOT	1 WEEK	5/1/2018-5/7/2018
10. LANDSCAPING	1 WEEK	6/1/2018-6/8/2018
11. APPLY FINAL STABILIZATION TO ENTIRE SITE	1 WEEK	6/15/2018-6/22/2018

PLAN PREPARER:
J.E. ARTHUR AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS

548 PRAIRIE ROAD
 FOND DU LAC, WISCONSIN 54935
 PHONE: 920.922.5703
 WWW.JEAAA.COM

OWNER:
 NAME: WAUPUN CHRISTIAN HOME
 ATTN: SUSAN BUWALDA
 ADDRESS: 331 BLY STREET
 WAUPUN WI 53963

SHEET INDEX:

SHEET NO.	SHEET DESCRIPTION
C-0	TITLE SHEET
C-1	EXISTING CONDITIONS
C-2	SITE PLAN
C-3	EROSION CONTROL PLAN
C-4,5,6	GRADING/STORM SEWER PLAN
C-7	UTILITY PLAN
C-8,9	DETAILS
C-10	CONTECH UNDERGROUND STORAGE FACILITY

WAUPUN CHRISTIAN HOME
CITY OF WAUPUN, DODDGE COUNTY

REVISED	<i>J. E. Arthur & Associates, Inc.</i> ENGINEERS SURVEYORS	
SCALE	N/A	GRADING/EROSION CONTROL/UTILITY PLAN
DATE	6/5/2017	WAUPUN CHRISTIAN HOME
PROJECT NO.	779.001	CITY OF WAUPUN, DODGE COUNTY, WI
FILE NO.	779-11-17001	



PRELIMINARY
 NOT FOR CONSTRUCTION

Title Sheet
 SHEET NUMBER:
C-0

MARK	DATE
ISSUED: 04-0	
PROJECT: 16171	
NO. CAD DWG	
FILE:	
DRAWN BY: MLA	
CHECKED BY: ERO	
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SHEET TITLE:	



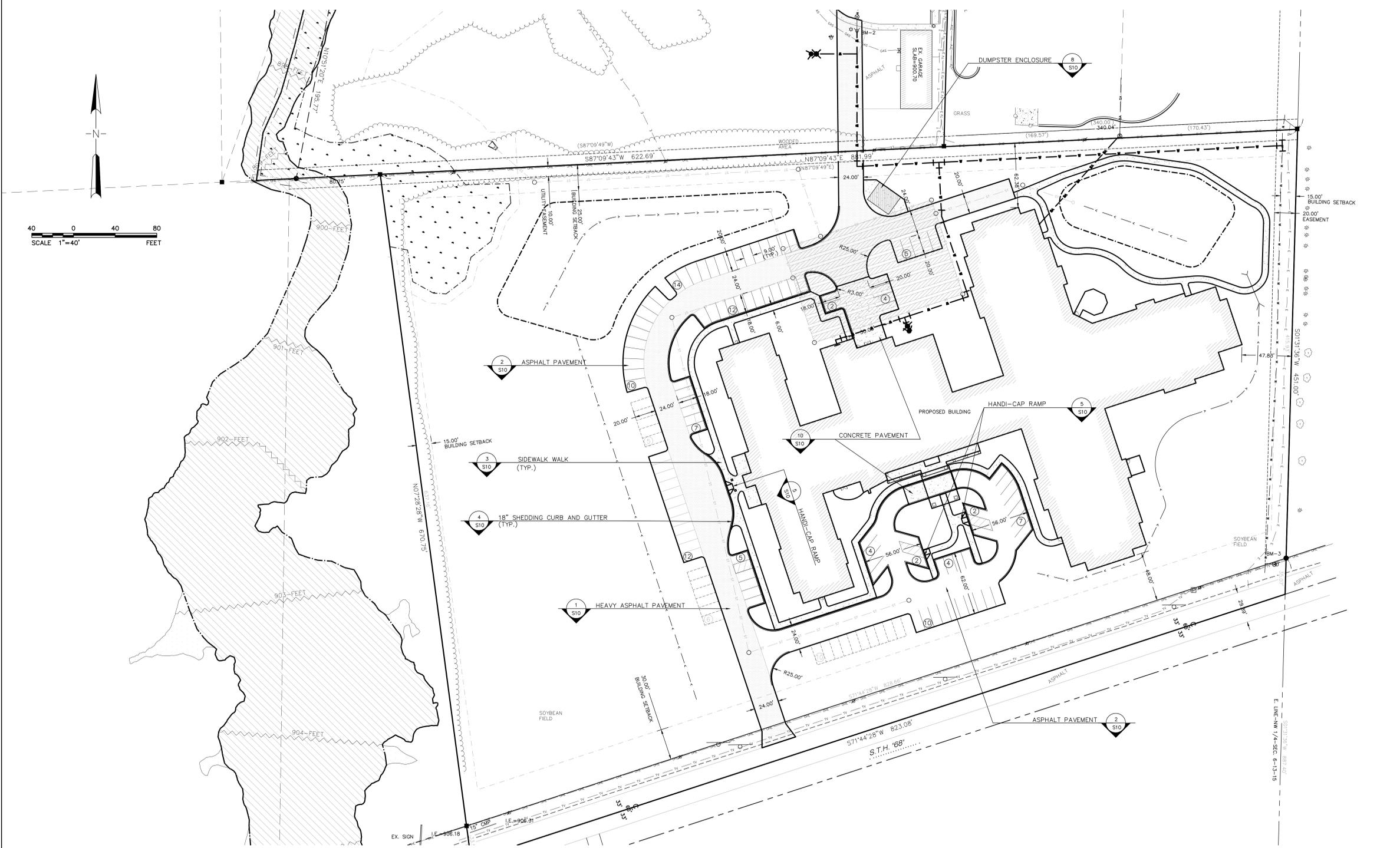
DRAWN BY <u>MLA</u> CHECKED BY <u>ERO</u> APPROVED BY <u>ERO</u>	SCALES HORIZONTAL <u>1"=40'</u> VERTICAL <u>N/A</u>	PROJECT NO. <u>779.001</u> DATE <u>6/5/2017</u>	REVISIONS _____ _____ _____	BENCH MARK BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83 BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOMES PARKING LOT ELEV.=902.41 BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03	DATUM <input checked="" type="checkbox"/> NAVD '88 ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/>	EXISTING CONDITIONS WAUPUN CHRISTIAN HOME S.T.H. 68 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN	A J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS <small>548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703</small>	SHEET OF SHEETS FILE NO. 779-11-17002
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PROJECT 16171	
CAD DWG FILE:	
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SHEET TITLE:	

Existing Conditions
SHEET NUMBER: C-1

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PROJECT 16171	
NO. CAD DWG	
FILE:	
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DRAWN BY: <u>MLA</u>	SCALES: HORIZONTAL: <u>1"=40'</u> VERTICAL: <u>N/A</u>	PROJECT NO. <u>779.001</u>	REVISIONS: _____ _____ _____
CHECKED BY: <u>ERO</u>		DATE: <u>6/5/2017</u>	BENCH MARK: _____ _____
APPROVED BY: <u>ERO</u>			

BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83
 BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOMES PARKING LOT ELEV.=902.41
 BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03

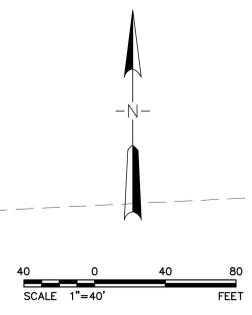
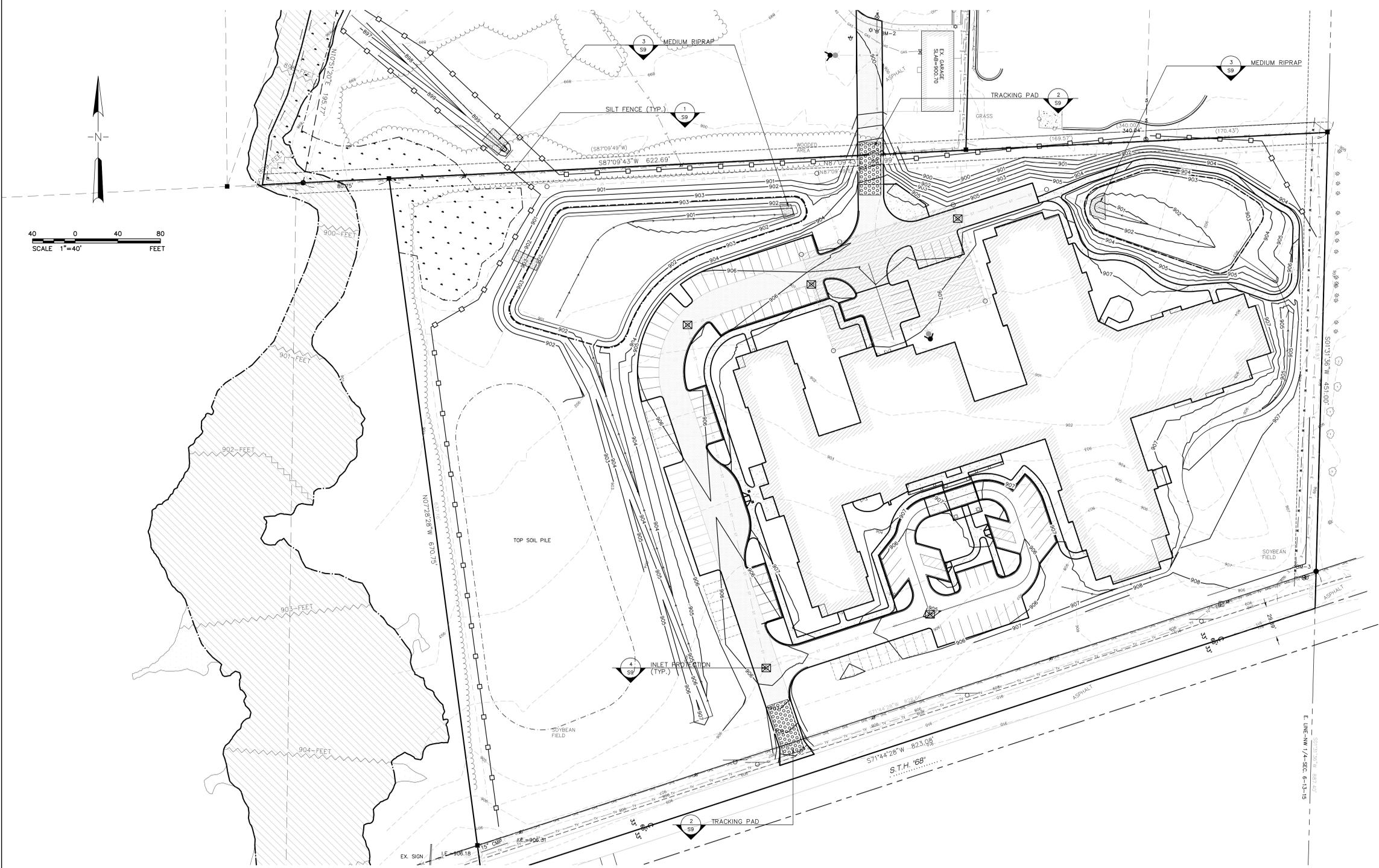
DATUM: NAVD '88
 ASSUMED:
 CITY:
 PROJECT:

SITE PLAN
 WAUPUN CHRISTIAN HOME
 S.T.H. 68
 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN

A. J. E. ARTHUR AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS
 548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703

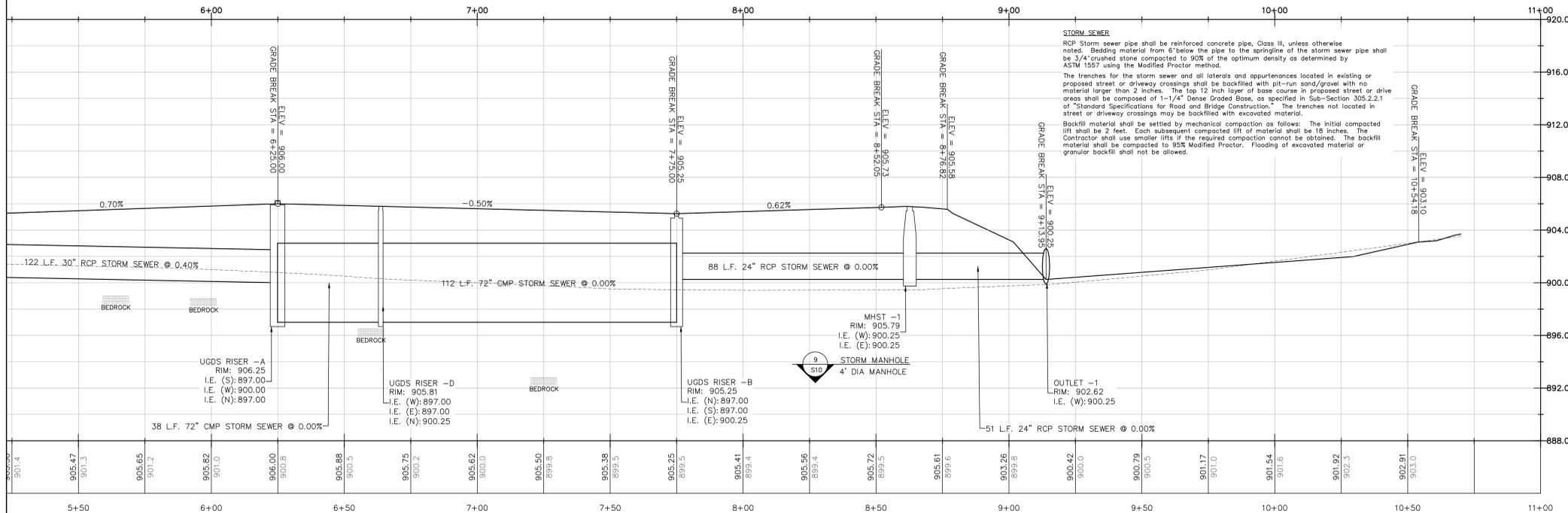
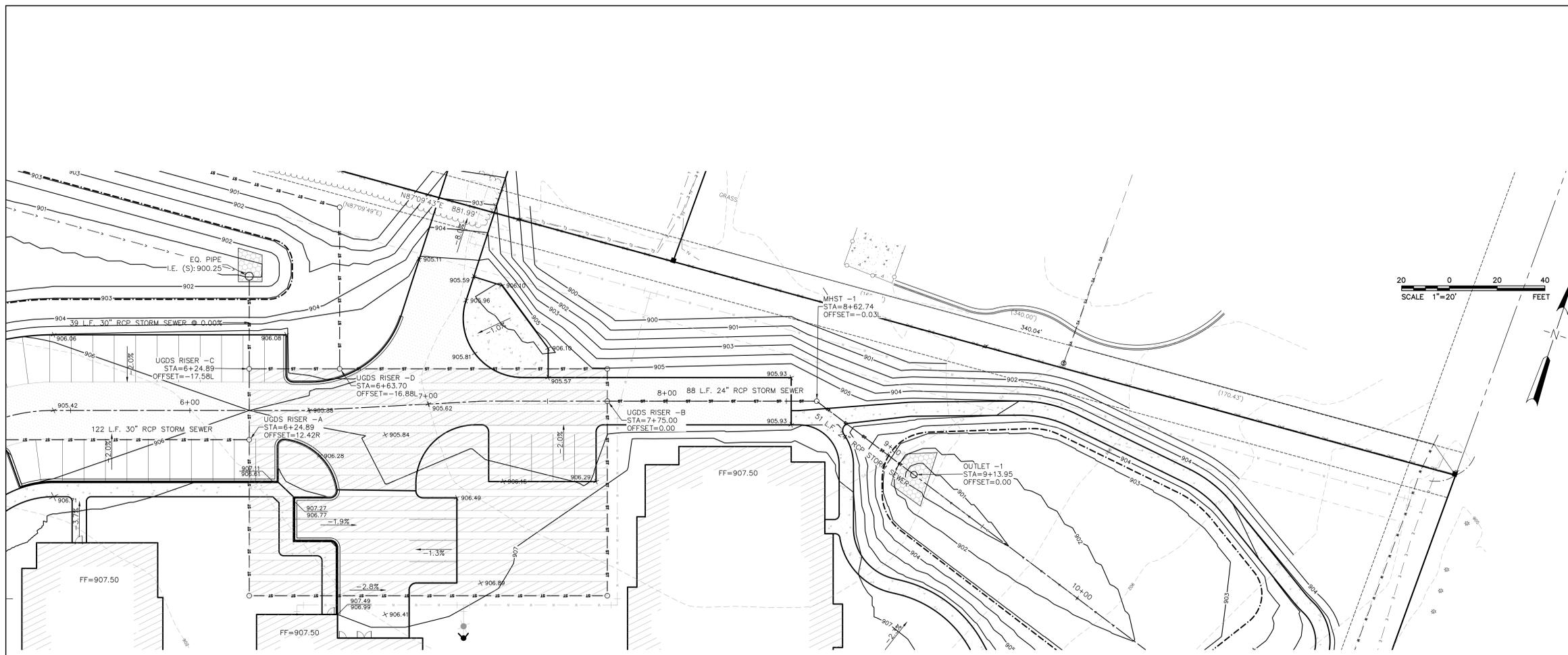
SHEET OF SHEETS FILE NO. 779-11-17003

PRELIMINARY
 NOT FOR CONSTRUCTION



DRAWN BY: <u>MLA</u>	SCALES HORIZONTAL <u>1"=40'</u> VERTICAL <u>N/A</u>	PROJECT NO. <u>779.001</u> DATE <u>6/5/2017</u>	REVISIONS _____ _____ _____	BENCH MARK	BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83 BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOMES PARKING LOT ELEV.=902.41 BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03	DATUM NAVD '88 ASSUMED CITY PROJECT	OVERALL GRADING/EROSION CONTROL PLAN WAUPUN CHRISTIAN HOME S.T.H. 68 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN	A.J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS <small>548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703</small>	SHEET OF SHEETS FILE NO. 779-11-17004
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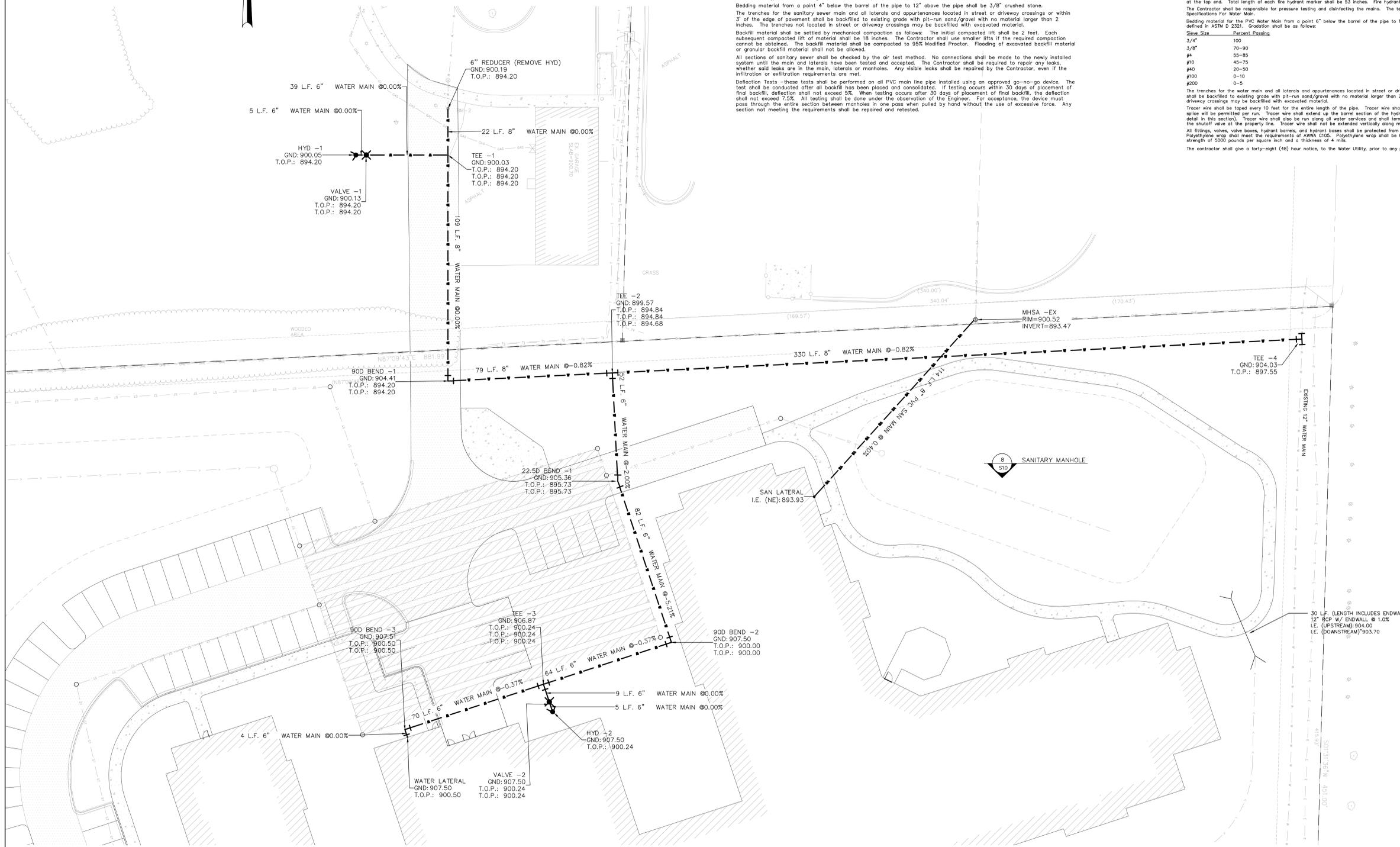
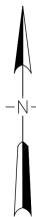
PRELIMINARY
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DRAWN BY: <u>MLA</u> CHECKED BY: <u>ERO</u> APPROVED BY: <u>ERO</u>	SCALES HORIZONTAL: 1"=20' VERTICAL: 1"=4' PROJECT NO. <u>779.001</u> DATE <u>6/5/2017</u>	REVISIONS BENCH MARK	BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83 BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOME PARKING LOT ELEV.=902.41 BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03	DATUM: NAVD '88 ASSUMED: <input type="checkbox"/> CITY: <input type="checkbox"/> PROJECT: <input type="checkbox"/>	STORM SEWER/DETAIL GRADING WAUPUN CHRISTIAN HOME S.T.H. 68 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN	A.J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS 548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703 SHEET OF SHEETS FILE NO. 779-11-17007
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MARK	DATE
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PROJECT: 16171	
NO. CAD DWG FILE:	
DRAWN BY: MLA	
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SHEET TITLE: Storm Sewer/Detail Grading	
SHEET NUMBER: C-6	

PRELIMINARY
 NOT FOR CONSTRUCTION



SANITARY SEWER
 Sanitary Sewer installation shall be in accordance with the City of Waupun and the current Standard Specifications for Sewer and Water Construction in Wisconsin.
 Sanitary sewer shall be Polyvinyl Chloride (PVC) sewer pipe and shall conform to the requirements of ASTM D3034 (smooth) SDR 35. The joints shall be elastomeric.
 The sanitary sewer laterals shall be 4-inch pipe. All laterals shall be of the same material and same joints as the main sewer and shall be plugged with a waterproof plug. The location of the end of the lateral shall be marked with a wooden 2"x4" extending at least 2 feet above the ground surface and shall be painted green.
 Sanitary manholes shall be pre-cast concrete with a 4-foot inside diameter. Manhole frames and covers shall be Nenech R-1500-A, Type B self-sealing lid with concealed pick holes.
 Bedding material from a point 4" below the barrel of the pipe to 12" above the pipe shall be 3/8" crushed stone.
 The trenches for the sanitary sewer main and all laterals and appurtenances located in street or driveway crossings or within 3' of the edge of pavement shall be backfilled to existing grade with pit-run sand/gravel with no material larger than 2 inches. The trenches not located in street or driveway crossings may be backfilled with excavated material.
 Backfill material shall be settled by mechanical compaction as follows: The initial compacted lift shall be 2 feet. Each subsequent compacted lift of material shall be 18 inches. The Contractor shall use smaller lifts if the required compaction cannot be obtained. The backfill material shall be compacted to 95% Modified Proctor. Flooding of excavated backfill material or granular backfill material shall not be allowed.
 All sections of sanitary sewer shall be checked by the air test method. No connections shall be made to the newly installed system until the main and laterals have been tested and accepted. The Contractor shall be required to repair any leaks, whether said leaks are in the main, laterals or manholes. Any visible leaks shall be repaired by the Contractor, even if the infiltration or exfiltration requirements are met.
 Deflection Tests - these tests shall be performed on all PVC main line pipe installed using an approved go-no-go device. The test shall be conducted after all backfill has been placed and consolidated. If testing occurs within 30 days of placement of final backfill, deflection shall not exceed 5%. When testing occurs after 30 days of placement of final backfill, the deflection shall not exceed 7.5%. All testing shall be done under the observation of the Engineer. For acceptance, the device must pass through the entire section between manholes in one pass when pulled by hand without the use of excessive force. Any section not meeting the requirements shall be repaired and retested.

WATER MAIN
 Water Main installation shall be in accordance with the City of Waupun and the current Standard Specifications for Sewer and Water Construction in Wisconsin.
 The water main shall be polyvinyl chloride and conform to AWWA C900 for bell end pipe with elastomeric-gasket joints. The pipe shall have a pressure class 150 (DR 15), unless noted otherwise.
 Gate Valves shall meet the requirements of AWWA C-509. Valves shall be Clow, Kennedy, or equal.
 Valve boxes shall be cast iron, two piece, screw type with 5-1/4 inch shaft diameter. Valve boxes shall be Tyler Series 6850 or equal. A valve box adaptor shall be provided for each valve box. The valve box adaptor shall be Valve Box Adaptor II as manufactured by Adaptor, Inc. or equal.
 Fire hydrants shall be Waterloo Pacor, have 2-1/2" hose nozzles, 1-1/2" pumper nozzle, a 6" M.J. end connection and open counter-clockwise. The bury depth of the hydrant shall be determined by the CONTRACTOR so the ground flange is at the elevation shown on the drawings. Fire hydrants shall be painted red. Fire hydrants shall be provided with hydrant markers. Fire hydrant markers shall consist of a 5/16-inch diameter galvanized steel rod and spring, and a 1/2-inch x 4-1/2-inch attachment flange. The rod shall have a bonded Leven flag at the top end. Total length of each fire hydrant marker shall be 53 inches. Fire hydrant markers shall be galvanized Steel Flex Flags or equal.
 The Contractor shall be responsible for pressure testing and disinfecting the mains. The testing shall be per the City of Fond du Lac Detailed Specifications for Water Main.
 Bedding material for the PVC Water Main from a point 6" below the barrel of the pipe to 12" above the pipe shall be Class B or Class II as defined in ASTM D 2321. Groutation shall be as follows:

Sieve Size	Percent Passing
3/4"	100
3/8"	70-90
#4	50-85
#10	45-75
#40	20-50
#100	0-10
#200	0-5

 The trenches for the water main and all laterals and appurtenances located in street or driveway crossings or within 3' of the edge of pavement shall be backfilled to existing grade with pit-run sand/gravel with no material larger than 2 inches. The trenches not located in street or driveway crossings may be backfilled with excavated material.
 Tracer wire shall be taped every 10 feet for the entire length of the pipe. Tracer wire shall be run from hydrant to hydrant. Not more than one splice will be permitted per run. Tracer wire shall extend up the barrel section of the hydrant and terminate in a tracer wire access riser (see detail in this section). Tracer wire shall also be run along all water services and shall terminate in a tracer wire access riser placed alongside the shutoff valve at the property line. Tracer wire shall not be extended vertically along main or hydrant valves.
 All fittings, valves, valve boxes, hydrant barrels, and hydrant bases shall be protected from corrosion by use of 2 layers of polyethylene wrap. Polyethylene wrap shall meet the requirements of AWWA C105. Polyethylene wrap shall be high density, cross laminated with a minimum tensile strength of 5000 pounds per square inch and a thickness of 4 mils.
 The contractor shall give a forty-eight (48) hour notice, to the Water Utility, prior to any proposed flushing of the new water main.



CITY SUBMITTAL
 JUNE 5, 2017
 PROJECT 16171

New Construction For:
CHRISTIAN HOME AND REHABILITATION CENTER
 Waupun, WI 53963

DRAWN BY: <u>MLA</u>	SCALES HORIZONTAL <u>1"=20'</u> VERTICAL <u>N/A</u>	PROJECT NO. <u>779.001</u> DATE <u>6/5/2017</u>	REVISIONS _____ _____ _____	BENCH MARK BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83 BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOME PARKING LOT ELEV.=902.41 BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03
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DATUM NAVD '88 <input checked="" type="checkbox"/>	ASSUMED <input type="checkbox"/>	CITY <input type="checkbox"/>	PROJECT <input type="checkbox"/>
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UTILITY PLAN
 WAUPUN CHRISTIAN HOME
 S.T.H. 68
 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN

A.J.E. ARTHUR AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS
 548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703
 SHEET OF SHEETS FILE NO. 779-11-17008

MARK	DATE
ISSUED: 0-0-0	
PROJECT 16171	
CAD DWG FILE:	
DRAWN BY: MLA	
CHECKED BY: ERO	
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SHEET TITLE:	

Utility Plan
 SHEET NUMBER:
C-7

PRELIMINARY
 NOT FOR CONSTRUCTION

DISTURBED AREAS LEFT UNWORKED FOR A PERIOD OF GREATER THAN SEVEN DAYS SHALL BE TEMPORARILY STABILIZED WITH MULCH.

MULCHING SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1058.
 SEEDING SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1059.

TEMPORARY SEEDING

SPECIES	LBS./ACRE	% PURITY
OATS	131	98
CEREAL RYE	131	97
WINTER WHEAT	131	95
ANNUAL RYEGRASS	80	97

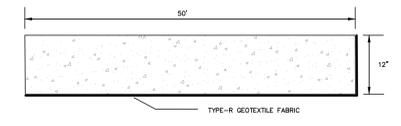
USE OATS IN SPRING AND SUMMER PLANTINGS.
 USE CEREAL RYE, WINTER WHEAT, AND ANNUAL RYEGRASS FOR FALL PLANTINGS.
 TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.

PERMANENT SEEDING
 SEEDING MIXTURES AND RATES SHALL CONFORM TO WISDOT 2003, STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 630, SEEDING.

- MIXTURES PER 630.2.1.5.1.1.2 -
- USE SEED MIXTURE No. 10 WHERE AVERAGE LOAM, HEAVY CLAY, OR MOIST SOIL PREDOMINATE.
 - USE SEED MIXTURE No. 20 WHERE LIGHT, DRY, WELL-DRAINED, SANDY, OR GRAVELLY SOILS PREDOMINATE AND FOR ALL HIGH CUT AND FILL SLOPES GENERALLY EXCEEDING 6 TO 8 FEET, EXCEPT WHERE USING No. 70.
 - USE SEED MIXTURE No. 10 OR No. 20 ON ALL DITCHES, INSLOPES, MEDIAN AREAS, AND LOW FILLS, EXCEPT WHERE USING No. 30 OR No. 70.
 - USE SEED MIXTURE No. 30 FOR MEDIANS AND ON SLOPES OR DITCHES GENERALLY WITHIN 15 FEET OF THE SHOULDER WHERE A SALT-TOLERANT TURF IS PREFERRED.
 - USE SEED MIXTURE No. 40 IN URBAN OR OTHER AREAS WHERE A LAWN TYPE IS PREFERRED.
 - USE SEED MIXTURE No. 60 ONLY ON AREAS, THE CONTRACT DESIGNATES OR THE ENGINEER SPECIFIES, USE IT AS A COVER SEEDING FOR NEWLY GRADED WET AREAS OR AS A NURSE CROP FOR SPECIFIED WETLAND SEED MIXTURES. THE CONTRACTOR SHALL NOT APPLY IT TO FLOODED AREAS.
 - USE SEED MIXTURE Nos. 70 AND 70A ON SLOPES AND UPLAND AREAS WHERE THE ENGINEER SPECIFIES. USE SEED MIXTURE No. 70 ON LOAMY SOILS AND SEED MIXTURE No. 70A ON SANDY SOILS.

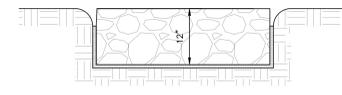
CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY EROSION CONTROL FACILITIES UNTIL FINAL STABILIZATION IS ACHIEVED.

ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS.



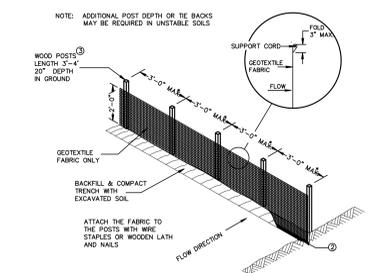
TRACKING PAD SHALL BE CONSTRUCTED OF 3- TO 6-INCH FRACTURED ROCK. ALL MATERIAL SHALL BE RETAINED ON A 3-INCH SIEVE.
 TRACKING PAD SHALL BE CONSTRUCTED 20' WIDE, 12" DEEP OVER TYPE-R GEOTEXTILE FABRIC.
 TRACKING PAD SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1057.
 TRACKING PAD SHALL BE INSPECTED DAILY.

2 TRACKING PAD
 NTS



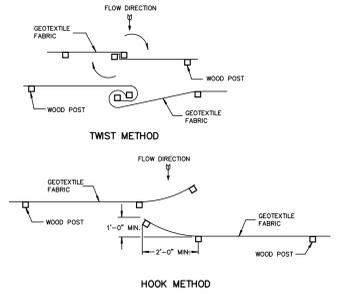
MEDIUM RIPRAP SHALL BE PLACED OVER TYPE HR GEOTEXTILE FABRIC. RIPRAP SHALL BE PER SECTION 606, AND THE FABRIC SHALL BE PER SECTION 645, WISCONSIN STD. SPEC.

3 MEDIUM RIPRAP
 NTS

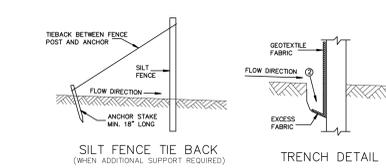


- GENERAL NOTES:**
- HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.

JOINING TWO LENGTHS OF SILT FENCE

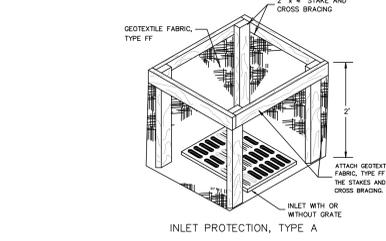
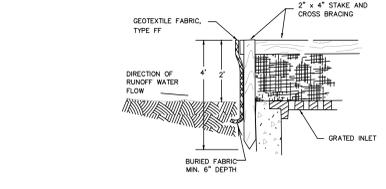


SILT FENCE



THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6.
 INSTALL IN ACCORDANCE WITH WIDNR TECHNICAL STANDARD 1056.

1 SILT FENCE
 NTS



GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

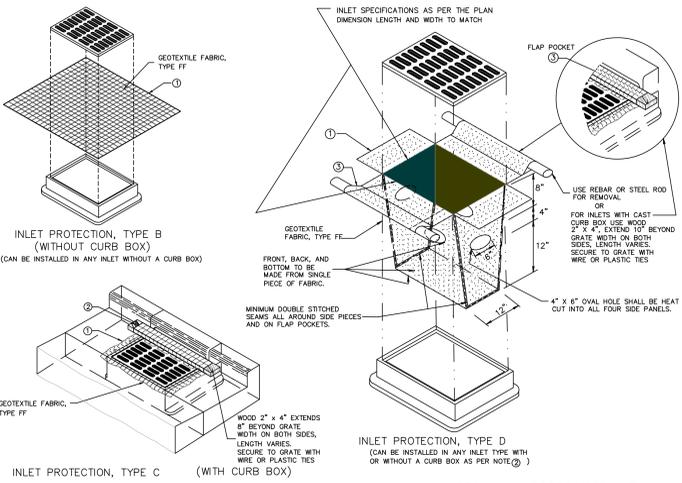
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

4 INLET PROTECTION
 NTS



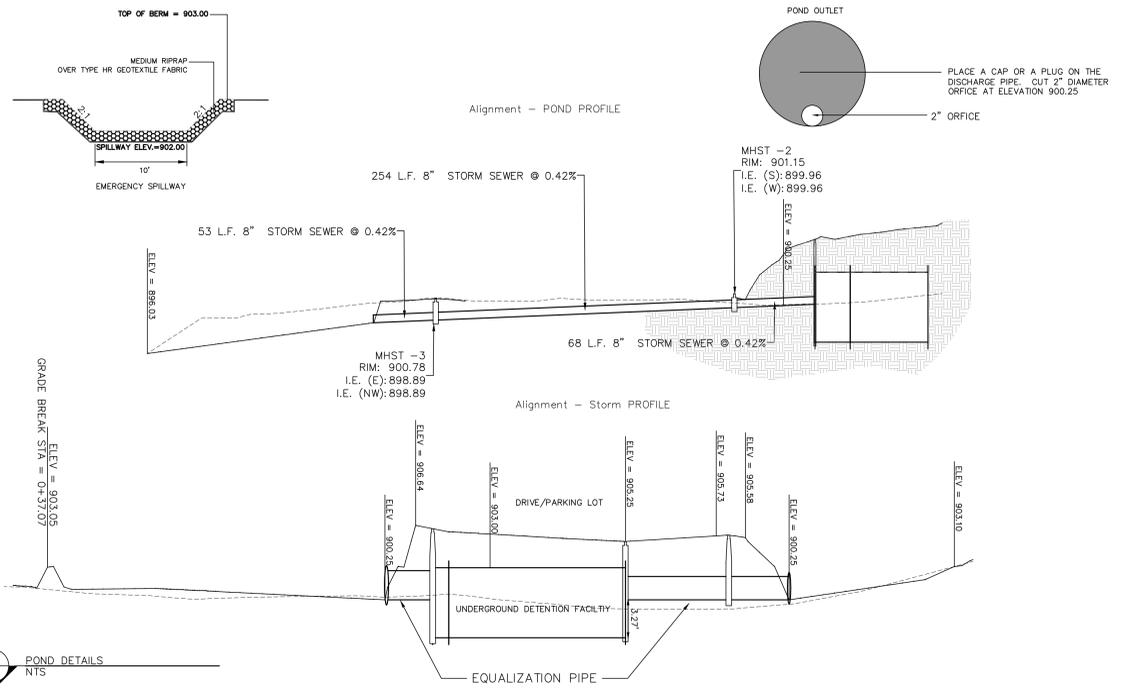
INSTALL IN ACCORDANCE WITH WIDNR TECHNICAL STANDARD 1060

INSTALLATION NOTES

TYPE B & C
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SCREW FLAP, HAND HOLES OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL UNZIP THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

5 POND DETAILS
 NTS



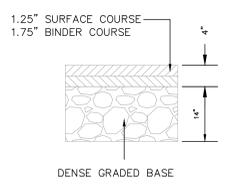
DRAWN BY: <u>MLA</u>	SCALES: HORIZONTAL <u>N/A</u>	PROJECT NO. <u>779.001</u>	REVISIONS:	BENCH MARK:	BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83	DATUM: NAVD '88
CHECKED BY: <u>ERO</u>	VERTICAL <u>N/A</u>	DATE: <u>6/5/2017</u>			BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOMES PARKING LOT ELEV.=902.41	ASSUMED: <input type="checkbox"/>
APPROVED BY: <u>ERO</u>					BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03	CITY: <input type="checkbox"/>
						PROJECT: <input type="checkbox"/>

DETAILS
 WAUPUN CHRISTIAN HOME
 S.T.H. 68
 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN

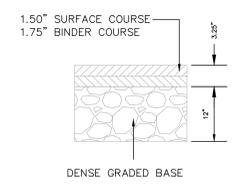
A.J.E. ARTHUR AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS
 548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703
 SHEET OF SHEETS FILE NO. 779-11-17009

PRELIMINARY
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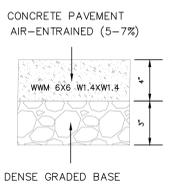
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ISSUED: 0-0-0	
PROJECT: 16171	
NO. CAD DWG FILE:	
DRAWN BY: MLA	
CHECKED BY: ERO	
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SHEET TITLE: Details	
SHEET NUMBER: C-8	



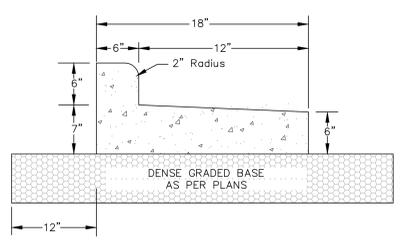
1 HEAVY ASPHALT PAVEMENT
 NTS



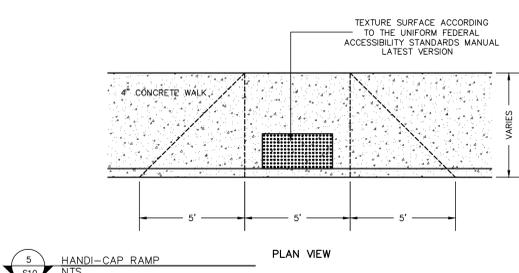
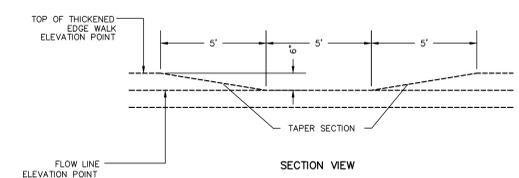
2 ASPHALT PAVEMENT
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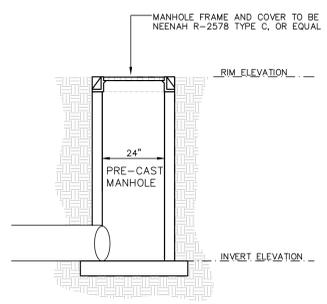
3 SIDEWALK WALK
 NTS



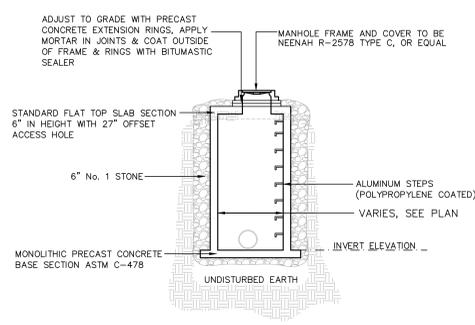
4 18" SHEDDING CURB AND GUTTER
 NTS



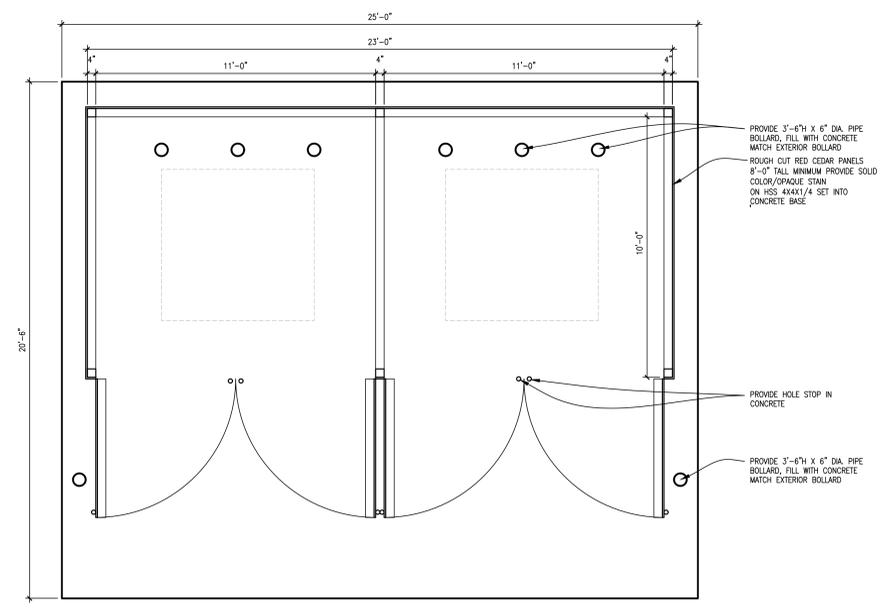
5 HANDI-CAP RAMP
 NTS



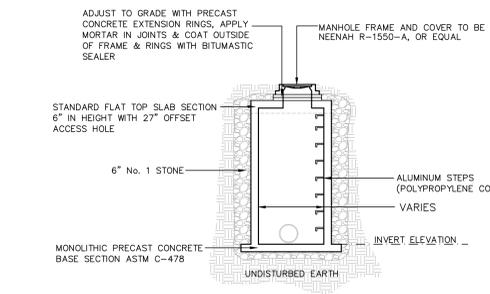
6 2' DIA AREA DRAIN DETAIL
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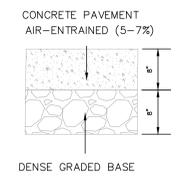
7 AREA DRAIN DETAIL
 NTS



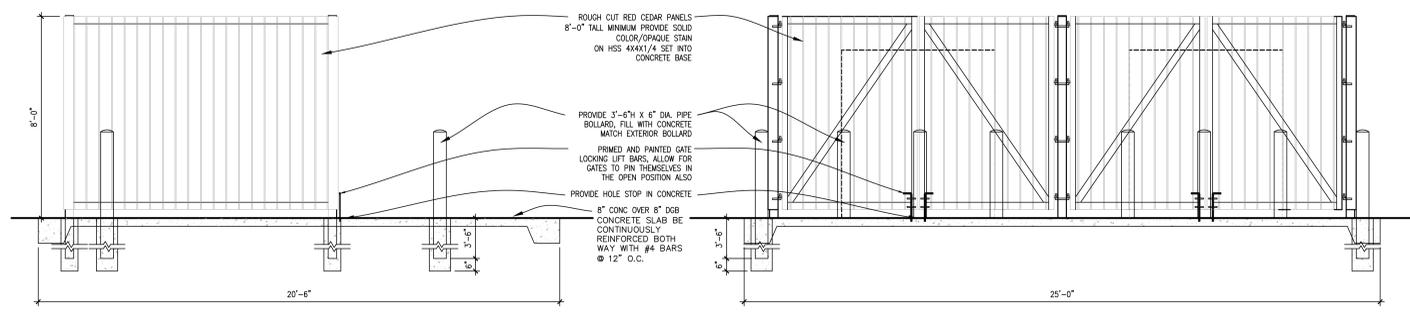
8 DUMPSTER PAD
 NTS



9 STORM MANHOLE
 NTS



10 CONCRETE PAVEMENT
 NTS



DRAWN BY: <u>MLA</u> CHECKED BY: <u>ERO</u> APPROVED BY: <u>ERO</u>	SCALES: HORIZONTAL: <u>N/A</u> VERTICAL: <u>N/A</u>	PROJECT NO: <u>779.001</u> DATE: <u>6/5/2017</u>	REVISIONS: _____ _____ _____	BENCH MARK: _____ _____ _____	BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83 BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOMES PARKING LOT ELEV.=902.41 BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03	DATUM: NAVD '88 <input checked="" type="checkbox"/> ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/>	DETAILS WAUPUN CHRISTIAN HOME S.T.H. 68 CITY OF WAUPUN, DODGE COUNTY, WISCONSIN	A.J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS 548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703
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SHEET OF SHEETS FILE NO. 779-11-17010

MARK	DATE
ISSUED: 0-0-0	
PROJECT: 16171	
NO. CAD DWG FILE:	
DRAWN BY: MLA	
CHECKED BY: ERO	
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SHEET TITLE:	

Details
 SHEET NUMBER:
C-9

PRELIMINARY
 NOT FOR CONSTRUCTION

ASSEMBLY
SCALE: 1" = 30'

PROJECT SUMMARY			
CALCULATION DETAILS			
• LENGTH PER BARREL = 108 FT	• STORAGE VOLUME REQUIRED = 39,011 CF	• DIAMETER = 72 IN	• WIDTH AT ENDS = 36 IN
• LENGTH PER HEADER = 96 FT	• PIPE STORAGE = 39,018 CF	• CORRUGATION = 5" X 1" OR 2" X 1"	• ABOVE PIPE = 8 IN
• LOADING = H20 & H2S	• STRUCTURAL BACKFILL STORAGE = 0 CF	• GAGE = 16	• WIDTH AT ENDS = 36 IN
• APPROX. CMP FOOTAGE = 1,380 FT	• TOTAL STORAGE PROVIDED = 39,018 CF	• COATING = ALUMINIZED STEEL TYPE 2 (A1, T2)	• BELOW PIPE = 6 IN
		• WALL TYPE = SOLID	
		• BARREL SPACING = 36 IN	

MARK	DATE	REVISION DESCRIPTION	BY

PROJECT NO.	REV. NO.	DATE
3914-1	0	5/30/2017

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
3025 Centre Pointe Dr., Suite 400, West Chester, OH 43080
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH DRAWING

DYODS - 3914-1-0
PROJECT NAME: Waupun Christian Home
Waupun, WI
DESCRIPTION: CMP DETENTION SYSTEM

TYPICAL MANWAY DETAIL
SCALE: N.T.S.

TYPICAL RISER DETAIL
SCALE: N.T.S.

TYPICAL SECTION VIEW
SCALE: N.T.S.

FOUNDATION BEDDING PREPARATION
PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, 4" OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL
THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER AASHTO M145, OR A WELL-GRADED GRANULAR FILL AS APPROVED BY THE SITE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 90% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HANDRAILS. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO (2) INCH DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADINGS ON THE PIPES.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

BACKFILL DETAIL
SCALE: N.T.S.

MARK	DATE	REVISION DESCRIPTION	BY

PROJECT NO.	REV. NO.	DATE
3914-1	0	5/30/2017

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CONTECH CMP DETENTION SYSTEMS
CONTECH DRAWING

DYODS - 3914-1-0
PROJECT NAME: Waupun Christian Home
Waupun, WI
DESCRIPTION: CMP DETENTION SYSTEM

CONSTRUCTION LOADING DIAGRAM
SCALE: N.T.S.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-30	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-102	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

REINFORCING TABLE

Ø CMP RISER	A	Ø B	REINFORCING	BEARING PRESSURE (PSF)
24"	18" Ø 4"	20"	#5 @ 12" OC EW #5 @ 12" OC EW	2,143 1,780
30"	Ø 4" x 4" x 4"	32"	#5 @ 12" OC EW #5 @ 12" OC EW	2,130 1,530
36"	Ø 5" x 5"	36"	#5 @ 10" OC EW #5 @ 10" OC EW	1,800 1,350
42"	Ø 6" x 6"	44"	#5 @ 10" OC EW #5 @ 9" OC EW	1,720 1,210
48"	Ø 8" x 8"	50"	#5 @ 9" OC EW #5 @ 8" OC EW	1,800 1,100

MANHOLE CAP DETAIL
SCALE: N.T.S.

1. DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
2. DESIGN LOAD H2S2.
3. EARTH COVER = 1' MAX.
4. CONCRETE STRENGTH = 3,500 psi
5. REINFORCING STEEL = ASTM A615, GRADE 60.
6. PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED. HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
7. TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 2' BEYOND OPENING. BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
8. PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
9. DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MARK	DATE	REVISION DESCRIPTION	BY

PROJECT NO.	REV. NO.	DATE
3914-1	0	5/30/2017

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CONTECH CMP DETENTION SYSTEMS
CONTECH DRAWING

DYODS - 3914-1-0
PROJECT NAME: Waupun Christian Home
Waupun, WI
DESCRIPTION: CMP DETENTION SYSTEM

CMP DETENTION INSTALLATION GUIDE
PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION
CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL, WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.
IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPACTED BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOGRID REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.

IN-SITU TRENCH WALL
IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE BEARS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT, PERFORM A SABLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.
IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.

BACKFILL MATERIAL
TYPICALLY, THE BEST BACKFILL MATERIAL IS AN ANGULAR, WELL-GRADED, GRANULAR FILL MEETING THE REQUIREMENTS OF AASHTO A-1, A-2 OR A-3. IN SOME CASES, IT MAY BE DESIRABLE TO USE A UNIFORMLY GRADED MATERIAL FOR THE FIRST 16" TO 24" INCHES. THIS TYPE OF MATERIAL IS EASIER TO PLACE UNDER THE HANDLES OF THE PIPE AND REQUIRES LITTLE COMPACTIVE EFFORT. DEPENDING ON THE BEDDING MATERIAL, A SEPARATION GEOTEXTILE MIGHT BE REQUIRED ABOVE AND BELOW THESE INITIAL LIFTS.

BEDDING
A 4" TO 6" THICK, WELL-GRADED, GRANULAR MATERIAL IS THE PREFERRED PIPE BEDDING. IF CONSTRUCTION EQUIPMENT WILL OPERATE FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, USE EITHER AN ENGINEERING FABRIC OR A STIFF GEOGRID TO ENSURE THE BASE MATERIAL MAINTAINS ITS INTEGRITY.
USING AN OPEN-GRADED BEDDING MATERIAL IS ACCEPTABLE; HOWEVER, AN ENGINEERING FABRIC SEPARATOR IS REQUIRED BETWEEN THE BASE AND THE SUBGRADE.
GRADE THE BASE TO A SMOOTH, UNIFORM GRADE TO ALLOW FOR THE PROPER PLACEMENT OF THE PIPE.

BACKFILL PLACEMENT
PLACE BACKFILL IN 8" HIGH LIFT AND COMPACT TO 90% AASHTO T99 STANDARD PROCTOR DENSITY. MATERIAL SHALL BE WORKED INTO THE PIPE HANDRAILS BY MEANS OF SHOVEL-SLICING, RIGGING, AIR RAMMER, VIBRATORY HOOD, OR OTHER EFFECTIVE METHODS.

CONSTRUCTION LOADING
TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H20 LIVE LOAD BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS. INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY, SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB. IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS
BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN BARELY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOODING AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.

INSPECTION
INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING, QUARTERLY INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.
INSPECTIONS SHOULD BE PERFORMED MORE OFTEN IN EQUIPMENT WASHDOWN AREAS, IN CLIMATES WHERE SANDING AND/OR SALTING OPERATIONS TAKE PLACE, AND IN OTHER VARIOUS INSTANCES IN WHICH ONE WOULD EXPECT HIGHER ACCUMULATIONS OF SEDIMENT OR ABRASIVE/ CORROSIVE CONDITIONS. A RECORD OF EACH INSPECTION TO BE MAINTAINED FOR THE LIFE OF THE SYSTEM.

MAINTENANCE
CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.
ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEALED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESS/INSPECTION MANHOLE SITUATED AT OR NEAR THE INLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, AN OSHA REGULATIONS SHOULD BE FOLLOWED.
SYSTEMS ARE TO BE RINSED, INCLUDING ABOVE THE SPRING LINE, ANNUALLY SOON AFTER THE SPRING THAW, AND AFTER ANY ADDITIONAL USE OF SALTING AGENTS AS PART OF THE MAINTENANCE PROGRAM FOR ALL SYSTEMS WHERE SALTING AGENTS MAY ACCUMULATE INSIDE THE PIPE.
MAINTAINING AN UNDERGROUND DETENTION OR FILTRATION SYSTEM IS EASIER WHEN THERE IS NO FLOW ENTERING THE SYSTEM. FOR THIS REASON, IT IS A GOOD IDEA TO SCHEDULE THE CLEANOUT DURING DRY WEATHER.
THE FOREGOING INSPECTION AND MAINTENANCE EFFORTS WILL ENSURE UNDERGROUND PIPE SYSTEMS USED FOR STORMWATER STORAGE CONTINUE TO FUNCTION PROPERLY. REGULAR INSPECTIONS AND MAINTENANCE PRACTICES, INSPECTION AND MAINTENANCE RELATED TO THE STRUCTURAL INTEGRITY OF THE PIPES OR THE SOUNDNESS OF PIPE JOINT CONNECTIONS IS BEYOND THE SCOPE OF THIS GUIDE.

MARK	DATE	REVISION DESCRIPTION	BY

PROJECT NO.	REV. NO.	DATE
3914-1	0	5/30/2017

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
3025 Centre Pointe Dr., Suite 400, West Chester, OH 43080
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH DRAWING

DYODS - 3914-1-0
PROJECT NAME: Waupun Christian Home
Waupun, WI
DESCRIPTION: CMP DETENTION SYSTEM

DRAWN BY: MLA	SCALES: HORIZONTAL N/A	PROJECT NO. 779.001	REVISIONS:	BENCH MARK:	BM-1 BURY BOLT ON HYDRANT @ NE CORNER OF HARRIS & W. BROWN STREET ELEV.=895.83
CHECKED BY: ERO	VERTICAL N/A	DATE 6/5/2017			BM-2 BURY BOLT ON HYDRANT @ SOUTH END OF CHRISTIAN HOMES PARKING LOT ELEV.=902.41
APPROVED BY: ERO					BM-3 BURY BOLT ON HYDRANT ON NORTH SIDE OF S.T.H. "68" @ SE CORNER OF PARCEL B ELEV.=909.03

UNDERGROUND STORAGE FACILITY
WAUPUN CHRISTIAN HOME
S.T.H. 68
CITY OF WAUPUN, DODGE COUNTY, WISCONSIN

A.J.E. ARTHUR AND ASSOCIATES, INC.
ENGINEERS SURVEYORS
548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.9783

SHEET OF SHEETS FILE NO. 779-11-17011

MEMORANDUM

To: City of Waupun Plan Commission and others

From: Kathy Thunes

Date: July 11, 2017

Subject: City of Waupun Comprehensive Plan Update 2040 – July 19, 2017 Plan
Commission Meeting

Dear Plan Commissioner and Others,

I've made changes to Chapter 2: Housing, based on your comments last month; the revised chapter is included in the meeting packet. If you have any additional changes that you want made, please let me know at the meeting. The bulk of the meeting will be spent discussing Chapter 3: Transportation. Please bring a copy of the transportation chapter, which was distributed at the last meeting, with you. The remainder of the meeting will be spent talking about the preliminary issues for the utilities and community facilities element. The Agricultural, Natural and Cultural Resource Chapter will be distributed at the meeting. We will be discussing the Agricultural, Natural and Cultural Resource Chapter in September.

Please review the information and be ready to discuss Transportation Chapter and preliminary issues for the utilities and community facilities element.

Chapter 2

HOUSING

This element provides a baseline assessment of the City of Waupun's current housing stock. The housing characteristics of a community are an important element of a comprehensive plan. First, the physical location of housing often determines where municipal service provisions need to be concentrated. Second, the condition of housing stock is often a good indicator of social and economic conditions present within a community. Finally, identifying housing clusters of new development will often indicate where future housing is likely to locate, and what capital improvements might be necessary to accommodate new populations. The information presented in this element of the City of Waupun's Comprehensive Plan will provide officials with information about the current housing stock and detail occupancy characteristics. It will also list housing issues and recommendations to help guide future housing development.

2.1 Housing Vision

The City of Waupun will offer a wide array of housing choices in excellent condition. Residents will find adequate housing easily and affordably within the City and be able to stay throughout their life cycle, as their income, family, and individual needs change.

2.2 Housing Goals and Objectives

2.2.1 Goal: Maintain and preserve the integrity of the existing housing stock, the quality of existing neighborhoods, and the cultural identity of the City.

Objectives:

- **Support rehabilitation, renovation and preservation of the City's older housing stock.**
- **Promote continuous improvement and preservation of the communities established neighborhoods.**
- **Encourage preservation and renovation of historic homes.**
- Improve the condition of rental **properties** within the City.

2.2.2 Goal: Provide housing choices, which reflect the needs of the individual households.

Objectives:

- Increase diversity in housing options.
- Develop a housing plan. Increase housing options for seniors and special needs populations.
- Promote collaboration between governmental, private and non-profit entities to encourage opportunities provide affordable housing.
- Pursue opportunities that will allow seniors to age in place.

2.2.3 Goal: Determine appropriate locations for new residential developments.

Objective:

- Provide developers with preferred development areas to build new homes.
- Encourage the orderly and efficient extension of infrastructure to serve new developments.
- Plan for development of infrastructure to service new locations

2.3 Housing Policies

- 2.3.1 The City will work to provide home improvement funding to qualified residents.
- 2.3.2 The City encourages preservation and renovation of historic homes.
- 2.3.3 The City encourages proper rental property management.
- 2.3.4 Residential housing codes will be enforced.
- 2.3.5 The City encourages housing choice, which reflects the needs of individual households.
- 2.3.6 The City encourages the development of senior, special needs housing in appropriate locations.
- 2.3.7 New residential development will be directed to areas with existing infrastructure or to areas where infrastructure can be easily extended and that are appropriate for that use.

2.4 Existing Housing Conditions

Some data in the following chapter was obtained from the American Community Survey (ACS). The ACS is an ongoing statistical survey by the U.S. Census Bureau representing a sample of the population over a period of time, differing from the Decennial U.S. Census where figures are based on actual counts during a point in time. ACS estimates are controlled to decennial population estimates and become less accurate over the decade, meaning estimates are only as accurate as the census count on which they are based.

ACS data can be used to draw conclusions, however, due to the limitations of these estimates, patterns can only be inferred through the data and consequently there is a larger margin of error (MOE). Small sample size increases the MOE, indicating inaccuracy and rendering the data unreliable. As a result, annual fluctuations in the ACS estimates are not meant to be interpreted as long-term trends and caution should be taken when drawing conclusions about small differences between two estimates because they may not be statistically different. It should also be noted when comparing ACS multi-year estimates with decennial census estimates, some areas and subjects must be compared with caution or not compared at all.

In some instances, data from the U.S. Census 2000 and 2010, collected on April 1, of the designate year was used, when available or for comparison purposes. Current information from other sources is also provided, when possible. *Note: these numbers do not include shelter provisions for the institutionalized population within the City of Waupun’s jurisdiction.*

2.4.1 Housing Stock Characteristics

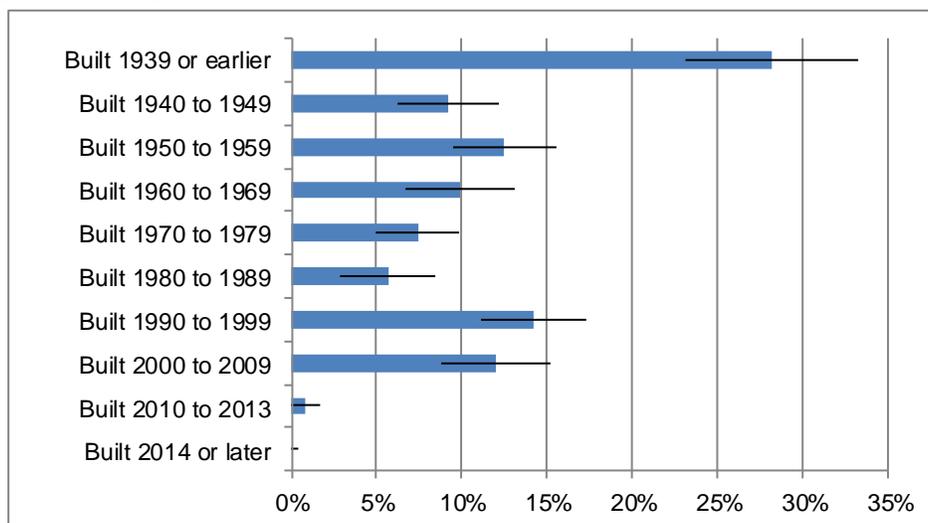
Table 2.1 shows the age of local housing stock by the year the structure was built. According to the 2011-2015 ACS 5-Year Estimates, there were 4,128 residential structures within the City. Many of these residences, almost 30 percent (1,166) were built prior to 1939. Nearly three-quarters (73%) of the housing stock was constructed before 1990. The significant age of most residential structures may indicate a need for housing repair programming or increased maintenance.

Table 2.1: Age of Structure by Year Built, 2011-2015 ACS 5-Yr Estimates

Year	Estimate	MOE+/-	Percent	MOE +/-
2014 or later	0	14	0.0%	0.4%
2010 to 2013	33	37	0.8%	0.9%
2000 to 2009	497	137	12.0%	3.2%
1990 to 1999	585	126	14.2%	3.1%
1980 to 1989	236	115	5.7%	2.8%
1970 to 1979	307	102	7.4%	2.4%
1960 to 1969	407	135	9.9%	3.2%
1950 to 1959	516	124	12.5%	3.0%
1940 to 1949	381	125	9.2%	3.0%
1939 or earlier	1,166	227	28.2%	5.1%
Total	4,128	248	100%	-

Source: U.S. Census 2011-2015 ACS 5-Year Estimates, DP04

Figure 2.1: Age of Structure by Year Built, 2011-2015 ACS 5-Yr Estimates



Source: U.S. Census 2011-2015 ACS 5-Year Estimates, DP04

As indicated in Table 2.2, most residential structures (68.1%) are single-unit detached homes. There is also a good mix of other housing options located within the City including 239 two-unit structures, and over 308 units containing 20 or more units. The City of Waupun comprises a great majority of the housing diversity within immediate proximity. Most surrounding towns offer primarily single-unit housing.

Table 2.2: Housing Units by Structure, 2011-2015 ACS 5-Yr Estimates

	Estimate	MOE+/-	Percent	MOE+/-
Total Units	4,128	248	100%	-
1-unit, detached	2,811	247	68.1%	4.3%
1-unit attached	91	62	2.2%	1.5%
2 units	239	104	5.8%	2.5%
3 or 4 units	212	108	5.1%	2.5%
5 to 9 units	207	84	5.0%	2.1%
10 to 19 units	142	70	3.4%	1.7%
20 or more units	308	139	7.5%	3.3%
Mobile home	118	76	2.9%	1.8%
Boat, RV, van, etc.	0	14	0.0%	0.4%

Source: U.S. Census 2011-2015 ACS 5-Year Estimate, DP04

Housing values for the City generally fall with the range of \$100,000 to \$149,000. According to the ACS 5-Year Estimates, the median value for a home in the City was \$121,200. About a quarter (26%) of the homes in the City range in value between \$50,000 and \$99,999. See Table 2.3 below. In 2016, the Wisconsin Board of Realtors reported a median selling price of \$124,000 for single-family homes in Fond du Lac County, and \$134,900 in Dodge County.

Table 2.3: Owner Occupied Homes Value, 2011-2015 ACS 5-Yr Estimates

	Estimate	MOE+/-	Percent	MOE+/-
Less than \$50,000	94	53	3.5%	2.0%
\$50,000 to \$99,999	702	168	26.0%	5.4%
\$100,000 to \$149,999	1,209	225	44.7%	7.3%
\$150,000 to \$199,999	420	104	15.5%	4.0%
\$200,000 to \$299,999	263	126	9.7%	4.5%
\$300,000 to \$499,999	17	17	0.6%	0.6%
\$500,000 to \$999,999	0	14	0.0%	0.6%
\$1,000,000 or more	0	14	0.0%	0.6%
Total	2,705	244	100%	
Median (dollars)	121,200	5,787		

Source: U.S. Census 2011-2015 ACS 5-Year Estimates, DP04

Median gross rent has increased over time. According to the ACS 5-Year Estimates, the median gross rent in the City of Waupun is \$682, an increase of about 52 percent since 2000. See Table 2.4. Median gross rents are lower in the City than in Dodge and Fond du Lac counties and the state.

Table 2.4: Median Gross Rent of Occupied Rental Units, 2000 & 2011-2015 ACS 5-Yr Estimates

	2000	2011-2015 5-Yr Est.	
		Estimate	MOE+/-
C. Waupun	\$449	\$682	74
Dodge County	\$528	\$761	19
Fond du Lac County	\$500	\$688	15
Wisconsin	\$540	\$776	3

Source: U.S. Census 2000, 2010-2014 ACS 5-Year Estimates, DP04

2.4.2 Occupancy Characteristics

According to the 2010 Census, the City of Waupun had 3,703 total housing units. Of these, 94.1 percent (3,485) were occupied at the time of the Census. See Table 2.5. There were 218 vacant housing units; 10 units of these units were used for seasonal, recreational, or occasional use.

Table 2.5: Occupancy Characteristics, 2010

	Number	Percent
Total Housing Units	3,703	100.0%
Occupied Housing Units	3,485	94.1%
Vacant Housing Units	218	5.9%
Homeowner Vacancy Rate	1.8%	
Renter Vacancy Rate	8.8%	

Source: U.S. Census 2010, SF-1, DP-1

2.4.3 Housing Tenure

The City had 3,485 occupied housing units in 2010. Owner-occupied units accounted for 69.3 percent (2,414) and renter-occupied units for 30.7 percent (1,071). The average household size for owner-occupied units was 2.53 and 1.96 for renter-occupied units. See Table 2.6.

Table 2.6: Housing Tenure, 2010

	Number	Percent
Occupied Housing Units	3,485	100.0%
Owner-occupied housing units	2,414	69.3%
Renter-occupied housing units	1,071	30.7%
Average household size (owner occupied)	2.53	
Average household size (renter occupied)	1.96	

Source: U.S. Census 2010, SF-1, DP-1

2.4.4 Senior Housing

Waupun contains a number of senior housing facilities including Gateway Senior Housing (120 Gateway Drive), Harris Court Senior Apartments (100 S. Harris Street) and Pattee Meadows Apartments (1105 Rock Avenue/24 units). Pattee Meadows Apartments offers low income housing for senior and the elderly. Eight of the units are Section 8.

2.4.5 Subsidized and Special Needs Housing

Subsidized and special needs housing serves individuals who, because of financial difficulties, domestic violence situations, disabilities, age alcohol and drug abuse problems, and/or other insufficient life skills, need housing assistance or housing designed to accommodate their needs. Within the City of Waupun subsidized and special needs housing includes:

Community based residential facilities (CBRFs):¹

- Daybreak Inc. Waupun (631 S. Madison/8 beds) offering programs for alcohol and drug addiction, developmentally disabled, and mentally ill;
- Marvins Manor IV (10 Plum Drive/25 beds) which offers care for the advanced aged, irreversible dementia / Alzheimer's / terminally ill;

¹ Source: Wisconsin Department of Health Services, Consumer Guide to Health Care – Finding Health Care Providers, Dodge and Fond du Lac Counties, updated 4/26/17.

7-6-17

- Christian Homestead (1001 W. Brown Street/18 beds) offering care for advanced aged / irreversible dementia / Alzheimer's / traumatic brain injury; and
- Prairie Ridge Assisted Living (819 Wilcox Street/24 beds) offering care for advanced aged / irreversible dementia / Alzheimer's.

Residential Care Apartment Complexes:²

- Christian Home Assisted Living Center (331 Bly Street/24 apartments).
- Prairie Ridge Assisted Living (819 Wilcox Street/27 apartments)

Adult Day Care:³

- None

Adult Family Homes:⁴

- Mahlstedt Adult Family Home (W10004 CTY RD TC) that offers housing for 4 female developmentally disabled; and
- Christian Home and Rehabilitation Center (331 Bly Street)) that offers housing for 3 female developmentally disabled.

Other:

- West View Apartments (916 W. Brown Street) offers low income housing for families. 47 of the 48 apartments are Section 8.

2.4.6 Affordable Housing

The relationship between housing costs and household income is an indicator of housing affordability, which is gauged by the proportion of household income expended for rent or home ownership costs. Rental costs include contract rent, plus the estimated average monthly cost of utilities and fuel. Owner costs include payment for mortgages, real estate taxes, fire hazard and flood insurance on the property, utilities and fuels. In 1989, the U.S. Department of Housing and Urban Development (HUD) raised the standard for determining whether rent or home ownership costs comprised a disproportionate share of income from 25 to 30 percent of gross household income. Households spending more than 30 percent of their income for housing may be at risk of losing their housing should they be confronted with unexpected bills or unemployment of one of more workers per household. Communities should be aware that maintenance and repair costs are excluded from this housing affordability formula, as are other outstanding debts, because these items will have policy impacts.

² Source: Wisconsin Department of Health Services, Consumer Guide to Health Care – Finding Health Care Providers, Dodge and Fond du Lac Counties, updated 4/4/17.

³ Source: Wisconsin Department of Health Services, Consumer Guide to Health Care – Finding Health Care Providers, Dodge and Fond du Lac Counties, updated 4/28/17.

⁴ Source: Wisconsin Department of Health Services, Consumer Guide to Health Care – Finding Health Care Providers, Dodge and Fond du Lac Counties, updated 4/27/17.

Table 2.7: Households Paying a Disproportionate Amount of Their Income for Housing, 2011-2015 ACS 5-Year Estimates

	Households with Mortgage for Which Owner Costs Are Not Affordable			Households without Mortgage for Which Owner Costs Are Not Affordable			Households for Which Renter Costs Are Not Affordable		
	Number	Percent	MOE +/-	Number	Percent	MOE +/-	Number	Percent	MOE +/-
C. Waupun	346	20.1%	118	179	18.2%	89	442	41.0%	148
Dodge County	4,649	29.9%	293	1,306	15.5%	169	3,534	41.7%	335
Fond du Lac County	5,045	27.1%	364	1,455	13.7%	173	4,419	40.3%	495
Wisconsin	293,638	29.0%	2,741	81,392	15.5%	1,552	335,879	47.5%	3,685

Source: U.S. Census, 2011-2015 ACS 5-Year Estimate, DP-4

According to the 2011-2015 ACS 5-Year Estimates, 41 percent of renters, 20.1 percent of households with a mortgage and 18.2 percent of households without a mortgage are paying more than 30 percent of their income on housing. See Table 2.7.

2.5 Housing Issues Raised During Planning Process

Low Median Housing value: the median housing value for properties in the City of Waupun is lower than Dodge and Fond du lac Counties. While this creates ample opportunities for residents and newcomers to obtain affordable housing, the housing market is not as strong as it could be.

Housing Condition: with a majority of the homes (nearly 60%) built prior to 1970, there is a need for minor exterior repairs on many homes. Unsightly appearance of homes can lessen the attractiveness of the community, and may play a role in property values for homes located next to deteriorating properties.

Housing Choice: according to the 2011-2015 ACS 5-Year Estimates the homeowner vacancy rate is 0 percent +/-0.6%. For a healthy housing market, communities should have a vacancy rate of about 1.5 percent for owner occupied housing.

2.6 Housing Actions

Wisconsin's Comprehensive Planning Law requires communities engaging in the comprehensive planning process to provide an adequate supply of housing needs to meet existing and forecasted housing demand.

Waupun's current housing stock does not meet the demand for current residents, major demographic shifts such as an influx of retirement-age populations, may strain the supply of affordable and senior housing facilities. According to the Wisconsin Department of Administration, the City can expect to add 721 housing units. If current land use continues, the City can be expected to add 510 households between 2015 and 2040. It is likely that increases of this magnitude will require annexation for development of new homes/housing units outside existing borders.

The following actions will allow the City of Waupun to strengthen existing neighborhoods, provide for future housing needs, improve the quality of the current housing stock supply and increase the quantity of senior housing options.

7-6-17

Actions:

- 2.6.1 Continue the City's housing rehabilitation program for owner and renter owned properties. The City currently uses Community Development Block Grant (CDBG) funds to rehabilitate the existing housing stock. (2.2.1)
- 2.6.2 Work with appropriate entities to qualify and apply for state and federal grant monies for local housing repair and home ownership programs. (2.2.1)
- 2.6.3 Identify additional funding sources for home improvement programming. (2.2.1)
- 2.6.4 Establish a committee to determine the feasibility of instituting municipal rental-property registration. Determine parameters of the policy including registration fee, inspection, and policies for non-compliance. These policies could include: (2.2.1)
 - ~~Yearly inspection of all rental properties by a licensed, City approved inspector;~~
 - ~~Licenses issued on a yearly basis and only re-issued after a satisfactory inspection by the City approved inspector;~~
 - ~~Require all rental property owners to register and license their properties with the City;~~
 - ~~Develop a policy and procedure for addressing consistently non-compliant rental property owners. This could consist of:~~
 - ~~Fines that escalate on a regular basis for issues that are not addressed from an inspection;~~
 - ~~Follow-up and enforcement for collection of delinquent fines through the property tax system.~~
- 2.6.5 Encourage homeowners to consider seeking federal and state tax credits through the State Historical Society, Division of Historic Preservation to preserve and renovate historic homes. (2.2.1)
- 2.6.6 Strengthen Housing Code enforcement practices to ensure safe and sanitary housing conditions for all. (2.2.1)
- 2.6.7 Consider a property maintenance ordinance. **Development of a property maintenance ordinance should include sufficient staffing to provide enforcement.** (2.2.1)
- 2.6.8 Explore developing historic residential guidelines in specified neighborhoods. Determine if the guidelines should be voluntary and if rehabilitation dollars are available to help property owners meet guidelines. Historic district design guidelines should preserve the distinctive character and should apply to the outside of the building. (2.2.1)
- 2.6.9 Explore developing exterior design guidelines to ensure rehabilitation and new

- construction fits in with the identity of a neighborhood. (2.2.1) Note was objective
- 2.6.10 Maintain and improve public infrastructure in existing neighborhoods to encourage private investment and pride in ownership. (2.2.1)
- 2.6.11 Contact and work with the school district, churches, businesses, civic groups, Habitat for Humanity and others to develop a program to aid elderly residents with home and property maintenance. (2.2.1)
- 2.6.12 Encourage community and housing improvement activities such as “Make a Difference Day”. (2.2.1)
- 2.6.13 Provide educational opportunities for renters, landlords and property owners. This could include opportunities to learn about home maintenance, “Rent Smart” training, and property management. (2.2.1)
- 2.6.14 Consider creating neighborhood organizations and working with neighborhoods to renovate existing areas. (2.2.1)
- 2.6.15 Invite owners of substandard properties to meet with City officials to discuss remedies for substandard residences. (2.2.1)
- 2.6.16 **Work with the towns of Chester and Waupun to maintain Town islands within the City limits.** (2.2.1)
- 2.6.17 Investigate and consider emerging trends in housing, i.e. tiny houses, granny flats, co-housing, Airbnb, etc. (2.2.2)
- 2.6.18 Promote the conversion of underutilized properties for residential and / or mixed uses, if feasible. (2.2.2)
- 2.6.19 Encourage the design and siting of new affordable housing that fits into existing neighborhoods. (2.2.2)
- 2.6.20 Develop a housing plan that includes a housing market analysis. The plan should: (2.2.2)
- Determine gaps in the housing market;
 - Identify demand for additional housing units by type, price, or amenities.
 - Include an analysis of gaps in the senior housing market (independent- or assisted-living facilities);
 - Set priorities for housing development by type, price or other feature;
 - Identify preferred building sites for redevelopment;
 - Consolidate available financing tools;
 - Determine the long-term need for mixed-use (commercial/residential); housing in commercial areas;
 - Identify housing areas to focus resources;
 - Determine where the housing market contains gaps based upon residential absorption rates and anticipated demand for housing; and

- Consolidate housing programs for quick reference.
- 2.6.21 The City should publicize the results of the housing plan and analysis with local residential developers. (2.2.2)
- 2.6.22 Communicate with existing senior housing facilities on whether they are interested in expanding and determine avenues for municipal aid (financing, land acquisition, etc.). (2.2.2)
- 2.6.23 Identify availability of grant monies to help develop new housing for senior or special needs persons. Note was objective. (2.2.2)
- 2.6.24 Develop criteria for possible future City participation in the development of senior or special needs housing. These criteria could include:
 - Construction of new senior housing units, of which, 40% are set aside for low-income elderly occupants;
 - Requiring a development agreement between the City and investor(s) prior to commitment of City funds; and
 - Ensuring the developer has a plan in place to allow all residents adequate access to pedestrian and vehicular transportation options.
- 2.6.25 Identify locations for new senior and special needs housing facilities. Consider access to community services and amenities. (2.2.2)
- 2.6.26 Investigate opportunities that will allow seniors to age in place. This could include: (2.2.2)
 - Working with the Waupun Senior Center, and Fond du Lac and Dodge counties to survey area seniors to better understand needed services.
 - Consider becoming a dementia friendly community.
- 2.6.27 Contact and encourage the Waupun Area School District to consider a construction training program between the high school and local businesses that would provide affordable housing opportunities. (2.2.2)
- 2.6.28 **Encourage the conversion of underutilized properties for residential and / or mixed uses, if feasible.** (2.2.2)
- ~~2.6.29 Identify precedents for condominium housing design, amenities, or appearance.~~
- 2.6.30 Direct new housing developments to areas that are easily served with utilities and other service provisions. (2.2.3)
- 2.6.31 Develop a plan to provide infrastructure to adjacent areas. This would include a plan on how to provide sanitary sewer, water, emergency services, parks, etc. (2.2.3)
- 2.6.32 When new development proposals are received, seek input from fire, police, parks and recreation, public works, streets, water, etc. to determine how these areas will be served. (2.2.3)

- 2.6.33 Continue to work with adjacent towns to determine areas for municipal expansion and establish phasing agreements for annexations that occur over time. (2.2.3)
- 2.6.34 Encourage ECWRPC to develop a study that analyzes development costs for the City of Waupun and other surrounding areas. (2.2.3)
- 2.6.35 Require that future housing developments occur in a phased manner to minimize services being extended in a leap-frog fashion. (2.2.3)
- 2.6.36 Meet with downtown property owners and stakeholders to develop a long-term plan to revitalize both the business and residential aspects of the downtown. This could include: (2.2.2)
 - Developing incentives for downtown property owners to revitalize their existing residential units. These incentives could include:
 - City sponsored loan guarantees;
 - BID sponsored matching funds for revitalization;
 - Housing grants (CDBG, HOME, etc.);
 - Investigating and publicizing the connection between a strong downtown residential housing market and a strong downtown commercial sector.

2.7 Programs

2.7.1 City of Waupun Housing Rehabilitation Program/Community Development Block Grant (CDBG)

The City of Waupun utilizes the Community Development Block Grant (CDBG) program from the State of Wisconsin Department of Administration, Division of Housing to fund housing rehabilitation. These funds can be used for handicap accessibility; repairing basic equipment such as heating systems, water heaters, plumbing, electrical systems and connecting water lines; insulating attics and sidewalks; installing storm windows and doors; exterior improvements; lead-based paint removal; installing smoke detectors, and other general improvements. Three types of assistance are available:

- Homeowners: No interest, deferred payment for up to 100% of rehabilitation cost. Payment is not required until the home ceases to be the homeowner's principle residence.
- Disabled Persons: No interest, deferred payment for up to 100% of rehabilitation cost. Payment is not required until the home ceases to be the homeowner's principle residence.
- Landlords & Investor Owned Property: Low interest loan at 0% interest for 100% of rehabilitation cost. The loan must be repaid over a 10 year period. The owner will agree to rent to only low income and moderate income tenants and to keep the rent in accordance with the program's rent limits.

2.7.2 Wisconsin Housing and Economic Development Authority (WHEDA)

WHEDA) awards grants and provides loans through a number of programs. The Housing Grants Program assists in the improvement of housing for special needs populations. WHEDA also offers a number of single family home products, including home improvement or

rehabilitation loans, homebuyer assistance and homebuyer education. WHEDA also offers a number of multi-family products including tax credits, tax exempt bond funding, construction, rehabilitation and accessibility loans, asset management and text credit monitoring serves. For more information contact visit www.wheda.com.

2.7.3 Wisconsin Department of Administration (WDOA), Division of Housing (DOH)

The WDOA, DOH helps expand local affordable housing options and housing services by managing a number of federal and state housing programs and providing financial and technical assistance. The DOH develops housing policy and offers a broad range of program assistance and funds to address homelessness and support affordable housing, public infrastructure, and economic development opportunities. It partners with local governments and service providers, non-profit agencies, housing authorities, and developers. For more information visit <http://www.doa.state.wi.us/Divisions/Housing>.

2.7.4 Housing Cost Reduction Initiative (HCRI)

Local sponsors compete annually for state HCRI funds to provide assistance to reduce the housing costs of low- and moderate-income households and encourage the purchase of affordable housing units. The money may be used for a wide variety of housing activities, from closing costs and down payment assistance for home buyers, to rent and security deposit assistance for renters and homeless persons. The program uses funds to help people stabilize their housing situation, enabling individuals and families to obtain affordable housing. For more information on this and other affordable housing programs, please visit <http://www.doa.state.wi.us/Divisions/Housing/Bureau-of-Affordable-Housing>.

2.7.5 Special Needs—State Shelter Subsidy Program (SSSG)

The State Shelter Subsidy Program (SSSG) provides grants to support homeless and emergency shelter program's operations. SSSG funds cannot exceed 50% of an agency's annual operating budget. Eligible applicants are a county or municipal governing body or agency, for-profit entities, an Indian tribal government, a community action agency, or other private non-profit organization. Only generic emergency facilities and voucher programs are eligible.

This program is part of the Bureau of Housing, Division of Housing and Intergovernmental Relations, Wisconsin Department of Administration. It is funded through the State of Wisconsin. For more information regarding the State Shelter Subsidy Program, visit <http://doa.wi.gov/Divisions/Housing/SSSG>

2.7.6 University of Wisconsin Extension

The Fond du Lac and Dodge County Extension offices offer a variety of programs and resources for homeowners, renters and landlords. These include:

- Family Living. The family living program provides assistance for families. Programs offered through this program include financial, rent smart and parent education.
- Homeowner Resources. UW-Extension provides a number of publications and materials to aid homeowners. Topics include home care, home maintenance and repair, life skills, financial information, gardening, landscaping, pest control, etc.
- Housing. UW-Extension provides a website which includes information on home maintenance and repair, a seasonal newsletter, and Rent Smart, which is a tenant education program.

For a complete listing of programs, please visit <http://fonddulac.uwex.edu/> in Fond du Lac

County or <http://dodge.uwex.edu/> in Dodge County.

2.7.7 Wisconsin Historical Society (WHS)

The WHS offers technical assistance and two tax credit programs for the repair and rehabilitation of historic homes in Wisconsin. One tax program provides state tax credits; the other provides federal tax credits. The Wisconsin Historical Society also provides grants to local governments and nonprofit organizations for conducting surveys and developing historic preservation programs. For more information visit <http://www.wisconsinhistory.org>.

2.7.8 ADVOCAP

ADVOCAP, a non-profit community action council was founded in 1966 to fight poverty within local communities. It offers programs in Fond du Lac, Green Lake and Winnebago counties and helps low income people secure affordable housing, gain employment skills and training, start a small business and become self-employed, volunteer at schools and daycares, etc. For more information visit <http://www.advocap.org/>.

2.7.9 Fond du Lac County Housing Authority

The Fond du Lac County Housing Authority and the City of Fond du Lac Housing Authority operate as the Fond du Lac Housing Authority (FDLHA) to cover Fond du Lac County. The authority provides safe and sanitary housing for low and moderate income people in Fond du Lac County. For more information visit <http://www.fdlpha.org>.

2.7.10 Dodge County Housing Authority

The Dodge County Housing Authority was created in 1972 by the Dodge County Board of Supervisors to provide safe, decent sanitary housing for Dodge County residents. The housing authority owns and maintains housing in the City of Waupun. For more information visit <http://www.dodgehousing.org/>.

City of Waupun Comprehensive Plan Update

Preliminary Utilities and Community Facilities Issues

- Provide services in a manner that will promote efficient, cost effective, and orderly growth and development to meet existing and future needs.
 - Why?
 - ✓ Provide adequate services and facilities in a fiscally responsible manner.
 - ✓ Plan for needed maintenance, upgrades and new equipment and facilities.
 - ✓ Realize cost savings through energy saving policies and programs.
 - ✓ Support the local cemetery.
 - How?
 - ✓ Continue to develop a 5 year CIP.
 - ✓ Promote the exchange of information between City departments, public utilities (gas, electric transmission), adjacent communities, county departments, WisDOT and others.
 - ✓ Explore opportunities for shared services.
 - ✓ Partner with community based organizations on community projects (park/trail development/maintenance, light home and lawn maintenance for elderly/disabled residents, etc.).
 - ✓ Evaluate existing facilities, equipment, services and practices to determine energy saving techniques that would be cost effective to implement.
 - ✓ When purchasing new equipment, building new or updating existing facilities, consider energy efficiency and renewable energy options in all decisions.
 - ✓ Encourage the viability of the private cemetery operations.
 - ✓ Consider adding air conditioning in the auditorium in City Hall.
- Provide efficient and cost effective utility infrastructure (sanitary, water and electric) that meets current and future needs.
 - Why?
 - ✓ Public health and welfare.
 - ✓ Promote cost effective and efficient growth.
 - ✓ Keep infrastructure costs down.
 - ✓ Regularly maintain the system.
 - How?
 - ✓ Replace aging sewer and water infrastructure on an ongoing basis.
 - ✓ Serve future growth areas in an orderly and efficient manner.
 - ✓ Continue to replace aging sanitary, storm sewer and watermain pipes and infrastructure in combination with other infrastructure upgrades.
 - ✓ Plan for future municipal sewer and water infrastructure with careful consideration to preferred level of residential growth.
 - ✓ Continue to sustain and grow Waupun Utilities.

- ✓ Continue to identify and reduce inflow and infiltration in the sanitary sewer system.
 - ✓ Develop a plan and map to depict how future areas will be served.
 - ✓ Perform routine maintenance and testing to ensure optimum (water and sanitary sewer) utility provision.
 - ✓ Develop a long-term plan to consolidate the number of electric substations.
 - ✓ Maintain and correct deficiencies in existing utilities and facilities in a timely and cost-effective manner.
- Develop appropriate stormwater facilities to manage and reduce stormwater runoff.
 - Why?
 - ✓ Meet the TMDL requirements for the Rock River Basin.
 - ✓ Comply with the requirements of the MS4 general permit.
 - ✓ Reduce flooding in the Harris Creek area.
 - How?
 - ✓ Include retention/detention ponds in new developments.
 - ✓ Maintain private stormwater infrastructure.
 - ✓ Continue to explore green infrastructure methods.
 - ✓ Promote best management practices on private properties to enhance pervious surfaces and decrease stormwater runoff.
 - ✓ Minimize uncontrolled runoff from private properties and encourage the use of best management practices to increase absorption of stormwater locally.
 - ✓ Explore the acquisition of utility easements in locations prone to flooding to develop additional stormwater infrastructure.
 - ✓ Maintain existing facilities.
 - ✓ Continue to work towards meeting the TMDL requirements.
- Promote quality schools, access to educational opportunities and library services.
 - Why?
 - ✓ Economic development opportunities.
 - ✓ Increase efficiencies through shared use of facilities.
 - ✓ Continue to strive for greater levels of library services.
 - ✓ Ensure that library needs are being met, especially in terms of space, materials, adult and children programming, delivery of services and access to programming.
 - How?
 - ✓ Work with the school district to plan new facilities.
 - ✓ Continue to support the senior projects through the local school district that enhance the community.
 - ✓ Continue to have City representation on the school board.
 - ✓ Enhance community participation and utilization of school facilities (use of school facilities by the community and use of community facilities by the school district).

- ✓ Work with the school district and area businesses to fill business needs.
 - ✓ Encourage the school district to continue the youth apprenticeship program.
 - ✓ Continue to work with the school district on the Reaching Everyone through Actions with Community Hands (REACH) program.
 - ✓ Increase free access to information, services and library programs.
 - ✓ Continue to partner with other libraries.
 - ✓ Continue to explore opportunities to increase library resource availability.

- Provide a level of law enforcement, fire and emergency services that meets current and future needs.
 - Why?
 - ✓ Public safety.
 - ✓ Emergency response.
 - How?
 - ✓ Address space and facility needs for the police and fire department (exercise equipment, fire department equipment storage, and fire fighters shower facilities).
 - ✓ Continue to maintain equipment and replace fire equipment based on NFPA requirements.
 - ✓ Ensure proper funding and maintenance of police and fire facilities.
 - ✓ Continue to provide sufficient community service levels.
 - ✓ Develop a staffing survey to address staffing needs attributed to a volunteer fire department.
 - ✓ Access on other side of railroad tracks?
 - ✓ Continue to work with contracted ambulance service providers.

- Ensure adequate availability of solid waste and recycling collection.
 - Why?
 - ✓ Provide cost-effective and efficient services.
 - ✓ Public health.
 - How?
 - ✓ Continue to contract with private waste collection entities.
 - ✓ Continue to disseminate information about solid waste and collection services.
 - ✓ Continue to provide annual e-cycle collection.
 - ✓ Consider initiating a program to provide City generated wood chips and composting material (made from yard waste) to residents.

- Maintain and enhance recreational facilities and opportunities and community art.
 - Why?
 - ✓ Provide active and passive recreational opportunities.
 - ✓ Acquire park and recreation sites and develop facilities to meet or exceed the recommended standards for community and surrounding area needs.

- ✓ Acquire open space recreation corridors, where possible, to link developed areas with recreation facilities.
- ✓ Preserve and conserve natural features and resources associated with the Rock River.
- ✓ Develop a green grid system of trails, paths, and routes that will allow access to regional trails (County Park Road, Wild Goose and Rock River Trails), schools, parks, downtown and other community amenities.
- How?
 - ✓ Address maintenance, upgrades and current needs identified in the most recent City of Waupun Comprehensive Outdoor Recreation Plan.
 - ✓ Continue to partner with the Waupun Public School District for use of facilities, including use of recreational facilities.
 - ✓ Provide new park facilities in areas identified in the most recent City of Waupun Comprehensive Outdoor Recreation Plan.
 - ✓ Develop a long-term bicycle and pedestrian transportation plan to identify routes, facilities and priorities. Incorporate recommendations from the City of Waupun Comprehensive Outdoor Recreation Plan.
 - ✓ Promote, maintain and continue to strengthen the City's brand as the City of Sculpture by commissioning additional sculptures within the City.
 - ✓ Update the City Comprehensive Outdoor Recreation Plan every five years.
 - ✓ Develop a master plan for the former McCune Park beach.
 - ✓ Develop a series of canoe/kayak launches and dam portage sites along the Rock River.
 - ✓ Complete a feasibility study for a new indoor recreation/community center.
 - ✓ Promote coordination and communication between community partners (civic organizations, local government, schools and the school district and the correctional facilities).